



**PUBLIC NOTICE  
WILLIAMSBURG CITY COUNCIL**

The Williamsburg City Council will hold public hearings on Thursday, November 14, 2019 at 2:00 P.M. in the Council Chambers of the Stryker Center, 412 North Boundary Street, to consider the following:

- PCR#19-020:** Request of John & Deborah Keane to amend Section 21-2 Definitions of the Zoning Ordinance by adding the definition of a “small inn” and Section 21-605 by adding a “small inn” on Jamestown Road and Richmond Road with a special use permit as outlined in the proposed ordinance.
- PCR#19-021:** Request of John & Deborah Keane for a special use permit for a “small inn” (A Williamsburg White House) at 718 Jamestown Road located in the Single-Family Dwelling District RS-2 for an increase from six rooms to nine rooms rented to visitors.
- ARB#19-105:** Request of 1007 Lafayette LLC (Rob and Camille Di Maio) to appeal the decision of the Architectural Review Board on September 24, 2019 to deny the after-the-fact replacement of wood windows with vinyl windows at 1007 Lafayette Street.

Additional information is available at [www.williamsburgva.gov/publicnotice](http://www.williamsburgva.gov/publicnotice) or at the Planning Department (757) 220-6130, 401 Lafayette Street. Interested citizens are invited to attend this hearing and present their comments to City Council.

If you are disabled and need accommodation in order to participate in the public hearing, please call the Planning Department at (757) 220-6130, (TTY) 220-6108, no later than 12:00 noon, Thursday, November 7, 2019.

Sandi Filicko  
Clerk of Council



# CITY OF WILLIAMSBURG

## MEMORANDUM

**DATE:** October 25, 2019

**SUBJECT:** PCR#19-020: Text amendment to define a “small inn” and to allow a “small inn” with a special use permit on Richmond Road and Jamestown Road meeting the conditions set forth in Section 21-605.3 of the Zoning Ordinance.

PCR#19-021: Request of John & Deborah Keane for a special use permit for a “small inn” (A Williamsburg White House) at 718 Jamestown Road located in the Single-Family Dwelling District RS-2 for an increase from six rooms to nine rooms rented to visitors.

### APPLICANT’S REQUEST

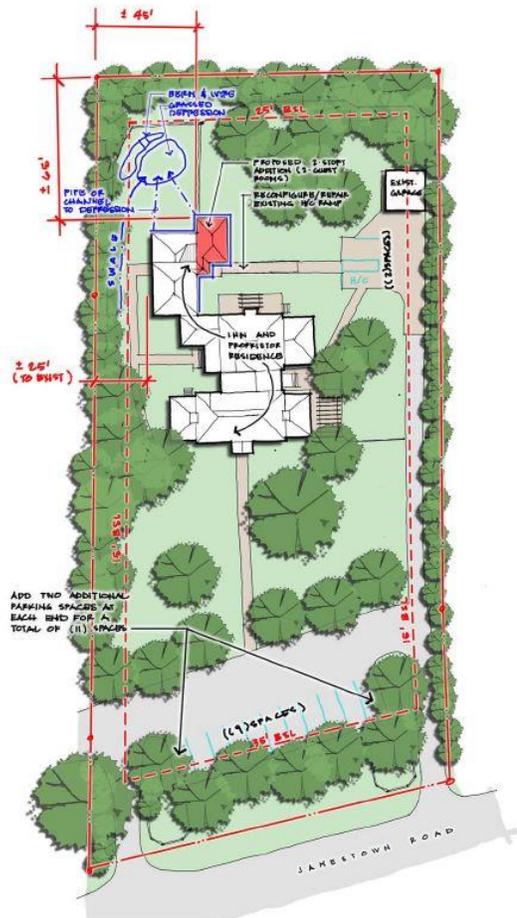
John and Deborah Keane are requesting to amend the Zoning Ordinance to define a “small inn” and to allow a “small inn” with a special use permit approved by City Council on portions of Jamestown Road and Richmond Road as outlined in Section 21-605.3 of the Zoning Ordinance. The definition of a “small inn” proposed is “an establishment with ten rooms or less rented to transient visitors”.

The applicants propose to increase the number of rooms rented to visitors from six bedrooms to nine bedrooms for their property located at 718 Jamestown Road on over an acre. The applicants received approval for six bedrooms as a special use permit on February 12, 2007 (PCR#06-034).

### CURRENT REGULATIONS

#### **Comprehensive Plan**

The 2013 Comprehensive Plan designates 718 Jamestown Road as Low-Density Single-Family Detached Residential, which is defined in the Comprehensive Plan as follows:



*This category addresses the lowest intensity of residential development – large lot single-family detached residential areas – with densities of up to 3 dwelling units/net acre. Lot sizes will generally range from 10,000 square feet to 20,000 square feet. This category is implemented by the RS-1, RS-2, and PDR zoning districts.*

Lands to the east, south, and west are designated Low-Density Single-Family Detached Residential with the property to the north designated William & Mary land use.

## **Zoning**

This property, along with properties to the east, south, and west, are designated Single-Family Dwelling District RS-2 with the William & Mary properties to the north designated William & Mary.

The statement of intent for the Single-Family Dwelling District RS-2 reads:

*This district is established as a single-family residential area with low population density. The regulations for this district are designed to stabilize and protect the essential characteristics of the land and to promote and encourage a suitable environment for family life. To these ends, development is limited to a relatively low density and permitted uses are limited basically to providing homes for the residents. Certain additional uses that may be compatible with single-family neighborhoods, such as churches, schools and, daycare centers, may be allowed with the issuance of special permits.*

## **Special Use Permit**

The special use permit section of the Zoning Ordinance (Sec. 21-42) establishes the following criteria for special use permits:

- (a) *The proposed use shall be:*
  - (1) *In harmony with the adopted comprehensive plan;*
  - (2) *In harmony with the intent and purpose of the zoning district in which the use is proposed to be located;*
  - (3) *In harmony with the character of adjacent properties and the surrounding neighborhoods, and with existing and proposed development.*
- (b) *The proposed use shall be adequately served by essential public services such as streets, drainage facilities, fire protection, and public water and sewer facilities.*
- (c) *The proposed use shall not result in the destruction, loss, or damage of any feature determined to be of significant ecological, scenic, or historic importance.*
- (d) *The proposed use shall be designed, sited, and landscaped so that the use will not hinder or discourage the appropriate development or use of adjacent properties and surrounding neighborhoods.*

Additional reasonable standards as deemed necessary to protect the public interest and welfare may be imposed, including more restrictive sign standards, additional open space, landscaping or screening requirements; additional yard requirements; special lighting requirements; limitation on hours of operation; and additional off-street parking and loading requirements.

The Planning Director or Planning Commission may require the following additional information:

- (1) A traffic impact analysis, showing the effect of traffic generated by this project on surrounding streets and neighborhoods.
- (2) A public utility analysis, showing the effect of this project on public water, sewer and/or storm drainage facilities.
- (3) A fiscal impact analysis. The Planning Director or the Planning Commission may request the City Council to provide funds for the preparation of this study by the City.

Staff does not feel that any additional studies are needed to decide on this request.

## ARCHITECTURAL REVIEW

This site is located in the AP-2 Architectural Preservation District. The Architectural Review Board conceptually approved the request on August 27, 2019 (ARB #19-095), with the applicant to return for final approval if a special use permit is granted.



## SITE PLAN REVIEW COMMITTEE

The Site Plan Review Committee reviewed this proposal at its meeting on September 18, 2019. It found the conceptual site plan to be acceptable with the applicant addressing the stormwater concerns raised by an adjacent property owner.

## ANALYSIS

The increase from six rooms to ten rooms rented to transient visitors, as outlined in the proposed ordinance, applies to properties located on Jamestown Road and Richmond Road with a special use permit. The small inn definition allows an increase from six to ten rooms. The regulations are similar to the current regulations that allow up to six rooms with a special use permit with the limitation of allowing a small inn only on Richmond Road and Jamestown Road if the requirements outlined in the proposed ordinance are met and City Council grants a special use permit.

We currently allow bed and breakfast establishments to rent up to four-bedrooms to visitors meeting the requirements of Section 21-605.1 of the Zoning Ordinance with approval from the Board of Zoning Appeals as a special exception. Section 21-605 also allows a bed and breakfast establishment to rent five or six-bedrooms for properties over an acre in size, meeting the requirements outlined in the Zoning Ordinance with a special use permit approved by City Council.

The applicants have provided a conceptual site plan which includes parking, mitigation of the stormwater, and a room layout. They are proposing to mitigate the stormwater concern raised by the adjacent property owner by creating a berm at the left rear corner of the property, as shown on the revised conceptual site plan. The berm will catch run-off from the existing addition, and the proposed addition allowing the water to infiltrate into the ground and for heavy storms will have a check dam to allow water to overflow the dam to mitigate any flooding potential.



The applicant proposes eleven parking spaces out front with an ADA space at the rear adjacent to the ramp that enters the ADA accessible room. Owner spaces are provided at the rear adjacent to the ADA space and in front of the detached garage. The ordinance requirement for parking is eleven spaces.

The proposed use is in harmony with the adopted comprehensive plan, the zoning district, and adjacent properties. It is adequately served by essential public services and is design and sited so that the use will not hinder or discourage the appropriate development or use of adjacent properties and surrounding neighborhoods. The size of the lot is over an acre which lends itself to the proposed use.

## **STAFF RECOMMENDATION**

### **PCR#19-020**

That Planning Commission recommends to City Council approval of the text change to define a “small inn” and to allow a “small inn” with a special use permit as outlined in the proposed ordinance.

### **PCR#19-021**

That Planning Commission recommends to City Council approval of a special use permit for the rental of nine bedrooms to visitors conditioned upon the following:

1. The final site plan being submitted and approved by the Planning Commission before the issuance of any land-disturbing or building permits.
2. The storm drainage improvements shown (berm at the left rear corner) on the conceptual site plan being approved by the City Engineer with the final site plan submittal.
3. The final building design being approved by the Architectural Review Board.

## **PLANNING COMMISSION**

Planning Commission held a public hearing on October 16, 2019. No one spoke at the hearing.

Planning Commission recommended to City Council the following:

### **PCR#19-020**

That City Council approves the text change to define a “small inn” and to allow a “small inn” with a special use permit as outlined in the proposed ordinance.

### **PCR#19-021**

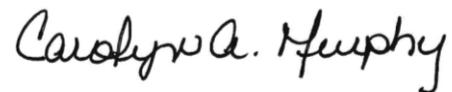
That City Council approves a special use permit for the rental of nine bedrooms to visitors conditioned upon the following:

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**CITY COUNCIL PUBLIC HEARINGS**

City Council public hearings are scheduled for their regular meeting on November 14, 2019, in the Council Chambers of Stryker Center at 2:00 p.m.



Carolyn A. Murphy, AICP  
Planning & Codes Compliance Director

**ORDINANCE #19-\*\***  
**PROPOSED ORDINANCE #19-\*\***

**AN ORDINANCE AMENDING CHAPTER 21, ZONING,  
ARTICLE I. IN GENERAL, SECTION 21-2. DEFINITIONS BY ADDING A DEFINITION  
FOR SMALL INN AND  
ARTICLE IV. SUPPLEMENTAL DISTRICT REGULATIONS, BY ADDING SECTION  
21-605.3 SMALL INN WITH A SPECIAL USE PERMIT  
(PCR #19-020)**

These revisions to Chapter 21, Zoning, are intended to promote the health, safety and general welfare of the public, and to carry out the purpose and intent of Chapter 21 as stated in Sec. 21-1.

**BE IT ORDAINED** that Chapter 21, Zoning, Article I. In General, Section 21-2 Definitions by adding Small Inn and Article IV. Supplemental District Regulations Sec. 21-605.3. Small inn shall be amended to read as follows:

ARTICLE I. IN GENERAL

Sec 21-2. Definitions.

*Small Inn is an establishment with seven to ten bedrooms rented to transient visitors.*

ARTICLE IV. SUPPLEMENTAL DISTRICT REGULATIONS

*Sec. 21-605.3. Small Inn.*

*(a) Intent. These regulations are established to allow the operation of small inns along two City entrance corridors while preserving the residential character of the neighborhoods in which they are located. By limiting the location of small inns only along these specified entrance corridors, bringing increased traffic and congestion by non-residents into residential districts is minimized.*

*(b) Owner-occupied small inn defined.*

*(1) For the purpose of this section, a small inn shall be deemed "owner-occupied" only so long as it is regularly occupied by:*

*a. An adult individual who owns at least a 50 percent undivided fee simple interest in such small inn and the lot upon which it is located and regularly occupies said small inn as his or her principal place of residence; or*

*b. The stockholders of at least 51 percent of the individual outstanding voting stock of a corporation, chartered in the Commonwealth of Virginia, or the members of a limited liability company chartered in the Commonwealth of Virginia, who own the controlling interest therein, which corporation or limited liability company owns full fee simple title to the small inn and the lot on which it is located.*

*(2) Ownership shall be established as follows:*

- a. Record ownership of fee simple title shall be certified by an attorney-at-law duly licensed to practice in the Commonwealth of Virginia, and shall be based upon examination of the land records in the Clerk's Office for the Circuit Court of the City of Williamsburg and County of James City made not earlier than the day before delivery of the certification to the zoning administrator. Such certification shall be in form acceptable to the city attorney.*
- b. The identity of stockholders of a corporation and members of a limited liability company shall be established by affidavit of all stockholders or members in form satisfactory to the city attorney.  
Such affidavit shall state that said stockholders of the majority interest of the corporation, or the majority of the members of the limited liability company, regularly occupy the small inn as their primary residence.*
- c. On the first business day of each January following the issuance of the special use permit, the ownership and occupancy of the small inn and lot, if unchanged, shall be established as follows:
  - 1. In the case of individual ownership, by affidavit of the owner or owners originally identified in the attorney's title certification furnished in connection with the permit application;*
  - 2. In the case of corporate ownership, the corporation's continued full fee simple ownership and the identity of the controlling stockholders shall be established by the affidavit of the president of the corporation and the continued occupancy of the dwelling and lot as the principal residence of the controlling stockholders shall be established by their affidavits; or*
  - 3. In the case of ownership by a limited liability company, the company's continued ownership of full fee simple ownership, the fact that the members previously identified as owning control of the limited liability company continue to do so and that all of said members continue to occupy the small inn and lot as their primary residence shall be established by their affidavits.**
- d. If a change in fee simple ownership of the small inn and lot has occurred since the last annual certification, than [then] the current fee simple ownership shall again be established by certificate of a duly licensed attorney-at-law based upon examination of the land records in the Clerk's Office of the Circuit Court for the City of Williamsburg and the County of James City. In such case, the identity of controlling stockholders, in the case of a corporation or controlling members, in the case of Limited Liability Company and the facts regarding occupancy shall be established by affidavits as provided in section 21-605.3(b)(2)c above.*
- e. Should ownership, control or occupancy of a small inn for which a special use permit has been issued at any time fail to meet the requirements of this section 21-605.3(b), and if compliance has not*

*been achieved within 60 days of the zoning administrator's notice of noncompliance, then the special use permit shall become null and void.*

*(c) Small inns shall be approved as a special use permit by the city council in accordance with Article II, Division 2, and subject to the following:*

*(1) Small Inns may be:*

- a. Owner-occupied and may have either a full-time live-in manager (which may include the manager's family) or one non-resident employee; or*
- b. Non-owner-occupied with a full-time live-in manager (which may include the manager's family and/or one non-resident employee) residing on the premises, provided, however, that a full-time live-in non-owner manager shall only be permitted to reside on the premises in lieu of an owner occupant if the owner of the small inn, as defined by section 21-605.3(b)(1)a or the stockholders or members as defined by section 21-605.3(b)(1)b also resides in the City of Williamsburg.*
- c. A change in occupancy from category 21-605.3(c)(1)a to category 21-605.3(c)(1)b as described above, shall require the issuance of a new special use permit.*

*(2) No more than ten bedrooms in a small inn may be rented to visitors with a special use permit approved by the city council, with a minimum lot size of one acre (43,560 square feet).*

- a. No more than two visitors shall occupy a bedroom at the same time, except for any child under 16 years of age, unless otherwise reduced by the requirements of the Uniform Statewide Building Code and all other applicable laws and regulations.*

*(3) No persons other than members of the immediate family residing on the premises, a full-time live-in manager (which may include the manager's family) or an authorized employee for an owner-occupied small inn as provided in section 21-605.1(c)(1)a above, or the full-time live-in manager (which may include the manager's family and/or one non-resident employee) as provided in section 21-605.1(c)(1)b above, shall be involved in the operation of the small inn and in the serving of meals.*

*(4) Meals may be provided, subject to the following conditions:*

- a. Meals may only be served to visitors renting bedrooms in the small inn, and to the guests of visitors currently renting bedrooms in the small inn. The maximum number of guests allowed to be served meals shall be two guests for each authorized bedroom for the small inn.*
- b. As a part of the special exception or special use permit application, a letter from the Virginia Department of Health indicating compliance with their food establishment regulations shall be submitted.*

*(5) Weddings, receptions and other special events: A small inn meeting the requirements sections 21-605.3(c)(15) and 21-605.3(c)(16), and located on a lot contiguous to the major streets listed in section 21-605.3(c)(6), may host weddings, receptions and other special events. The following requirements shall apply:*

- a. *Maximum number of guests shall be 50 people and approved as part of the special use permit in accordance with Article II Division 2, and subject to the following additional requirements:*
    1. *For events above the standard capacity, there shall be no more than one per day, or two in any seven-day period. A wedding ceremony and its associated reception shall be considered a single event.*
    2. *A parking plan shall be submitted and approved as a part of the special use permit process. Parking may be accommodated on-site, on adjacent property or on property directly across the street, and/or on available and conveniently located public parking spaces from which attendees can walk safely. Valet parking may also be used.*
    3. *When food service is proposed as a part of the proposed weddings, receptions and other special events, a letter from the Virginia Department of Health indicating compliance with their food establishment regulations shall be submitted as a part of the special exception application.*
  - b. *Facilities:* Any building or temporary tents used to accommodate weddings, receptions and special events shall comply with all applicable requirements of the Uniform Statewide Building Code and the Fire Prevention Code (Chapter 8, Fire Protection, Williamsburg Code). Any tent shall be removed within 48 hours of the conclusion of each event, unless the special exception allows a greater time.
  - c. *Duration of event:* Weddings, receptions and special events shall be limited to between 10:00 a.m. and 10:00 p.m. Set-up and take-down activities may take place no earlier than 8:00 a.m. and no later than 11:00 p.m.
  - d. *Lighting:* Exterior lighting shall be limited to fixtures and illumination intensities that will not produce illumination intensities exceeding 0.1 foot-candles at the property line.
  - e. *Noise:* Events shall be subject to all requirements Article V, Noise Control of the Williamsburg Code. No amplified music shall be allowed.
  - f. *Food service:* When food service is proposed as a part of the proposed weddings, receptions and other special events, approval must be obtained from the Virginia Department of Health.
  - g. *The use of a small inn for weddings, receptions and special events shall be subject to the applicable provisions of the Uniform Statewide Building Code, the Fire Prevention Code (Chapter 8, Fire Protection, Williamsburg Code), Virginia Department of Health requirements, and all other applicable laws and regulations. A certificate of occupancy shall be issued by the Williamsburg Codes Compliance Division prior the small inn hosting weddings, receptions and special events.*
- (6) *Small Inns shall be permitted only on lots contiguous to Jamestown Road and Richmond Road (between Brooks Street and Virginia Avenue) and only if its front door faces Jamestown or Richmond Road respectively.*
- (7) *Vehicular access shall be permitted only from the streets listed above, or from a side street intersecting with a listed street. When necessary to preserve the character of the surrounding neighborhood and streetscape,*

*City Council may prohibit vehicular access from a side street intersecting with a listed street.*

- (8) The following parking requirements shall apply:*
- a. Two off-street parking spaces for the small inn, plus one off-street parking space for each bedroom rented to visitors shall be provided (as required by Article V, Parking).*
  - b. City Council, when ruling on the special use permit shall consider the location of the off-street parking and its impact on adjoining residences and the adjacent street(s). When necessary to preserve the character of the surrounding neighborhood and streetscape, council may prohibit the location of off-street parking in front yards and/or the street side yards for corner lots.*
  - c. Parking shall be screened from adjoining residences and adjacent street(s) by an element of the building, fence, wall or landscape buffer, and shall be approved by city council when ruling on the special use permit.*
  - d. Parking spaces and driveways shall be constructed of gravel, compacted stone, concrete, asphalt, brick or paving stones.*
  - e. As part of a request for a special use permit (which requires a minimum lot size of one acre (43,560 square feet)], city council may allow parking spaces and driveways to occupy up to 15 percent of the total lot area. This shall supersede the restrictions stated in section 21-705.1(b).*
  - f. Parking shall be allowed only in driveways or parking spaces meeting these requirements, and shall be prohibited elsewhere on the lot.*
- (9) Applicable provisions of the Uniform Statewide Building Code, Virginia Department of Health regulations, and all other applicable laws and regulations, shall be met.*
- (10) The application for a special use permit shall include: a floor plan showing the location of each bedroom to be rented, including its dimensions and floor area, the location of exits and the location of smoke detectors; and a minor site plan in accordance with Article VII, Site Plans, showing the location of the parking to be provided, the location of proposed screening and landscaping, and lot coverage of the driveways and parking areas.*
- (11) It shall be a violation of this section to advertise for rent to visitors any bedroom exceeding the number of bedrooms authorized herein or which are determined by the zoning administrator to be legally nonconforming.*
- (12) No bedrooms in a small inn may be rented to roomers.*
- (13) The owner-occupant or the full-time live-in manager of the detached dwelling renting bedrooms to visitors shall keep records of all bedrooms rented, which shall be submitted to the zoning administrator for the previous quarter on April 20, July 20, October 20 and January 20 of each year, and at any other time upon the request of the zoning administrator. The records shall be submitted on a form provided by the zoning administrator, and shall include each bedroom rented, the date rented, the number of persons occupying the bedroom, the number of motor vehicles parked on the premises by the occupant(s) of the bedroom, and the names of all persons residing in the dwelling for the reporting period. The owner-*

*occupant or the full-time live-in manager shall certify by affidavit at the bottom of each page that the records are true and correct and represent all bedrooms rented and the occupants thereof for the stated time period.*

*(14) A special use permit approved by the city council, shall expire 180 days from the date of the approval unless the applicant has obtained a certificate of occupancy and a business license for the small inn.*

*(15) A special use permit approved by the city council, shall remain valid only as long as there are at least 100 bedroom rental nights each calendar year. If there are less than 100 bedroom rental nights in a calendar year, the special use permit approval shall expire. If less than a full calendar year remains following the approval of the special use permit approved by the city council, the required bedroom rental nights shall be prorated based upon the portion of the calendar year remaining. A bedroom rental night is defined as the rental of an individual bedroom for one night.*

*(16) Any special use permit granted by the city council for a small inn pursuant to this section shall become null and void if within any 48-month period a court of competent jurisdiction has found that there have been two or more valid zoning violations pertaining to such special use permit, or of any provision of this section 21-605.3, to the same record owner of such small inn and lot or to one or more of the same individuals identified in the zoning administrator's records as regularly occupying the subject dwelling as their residence. The special use permit shall, however, not become null and void until all appeal periods have run regarding such zoning violations.*

**EXCEPT**, as here amended, the Williamsburg Code shall remain unchanged.

Adopted:

\_\_\_\_\_  
Paul T. Freiling, Mayor

Attest: \_\_\_\_\_  
Debi Burcham. Clerk of Council



# CITY OF WILLIAMSBURG

## MEMORANDUM

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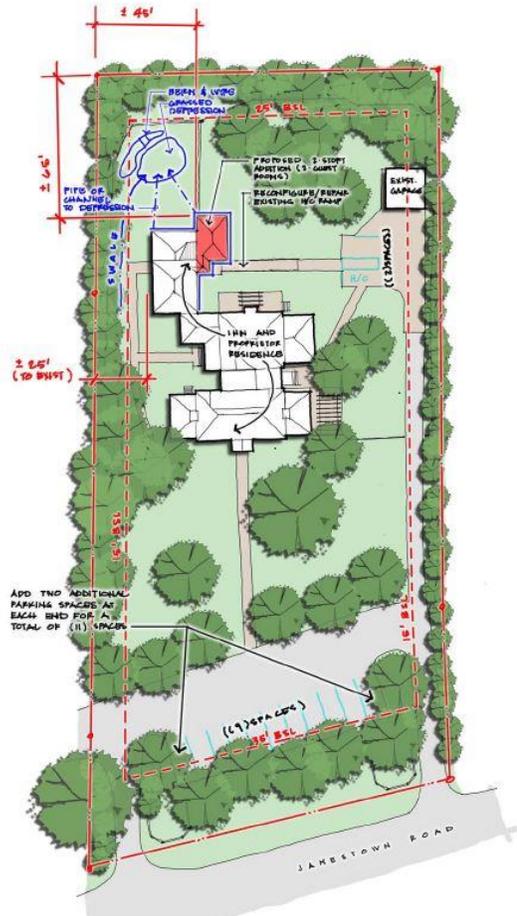
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## ANALYSIS

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2. The storm drainage improvements shown (berm at the left rear corner) on the conceptual site plan being approved by the City Engineer with the final site plan submittal.
3. The final building design being approved by the Architectural Review Board.

## **PLANNING COMMISSION**

Planning Commission held a public hearing on October 16, 2019. No one spoke at the hearing.

Planning Commission recommended to City Council the following:

### **PCR#19-020**

That City Council approves the text change to define a “small inn” and to allow a “small inn” with a special use permit as outlined in the proposed ordinance.

### **PCR#19-021**

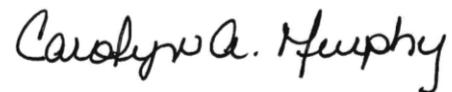
That City Council approves a special use permit for the rental of nine bedrooms to visitors conditioned upon the following:

1. The final site plan being submitted and approved by the Planning Commission before the issuance of any land-disturbing or building permits.

2. The storm drainage improvements shown (berm at the left rear corner) on the conceptual site plan being approved by the City Engineer with the final site plan submittal.
3. The final building design being approved by the Architectural Review Board.

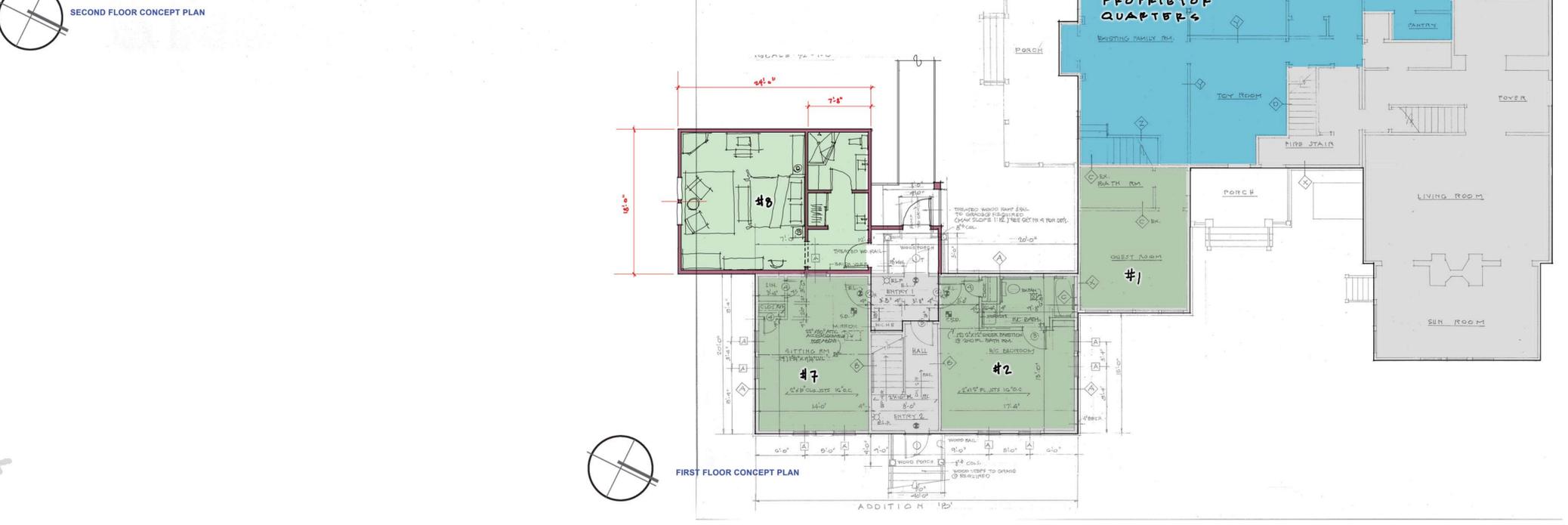
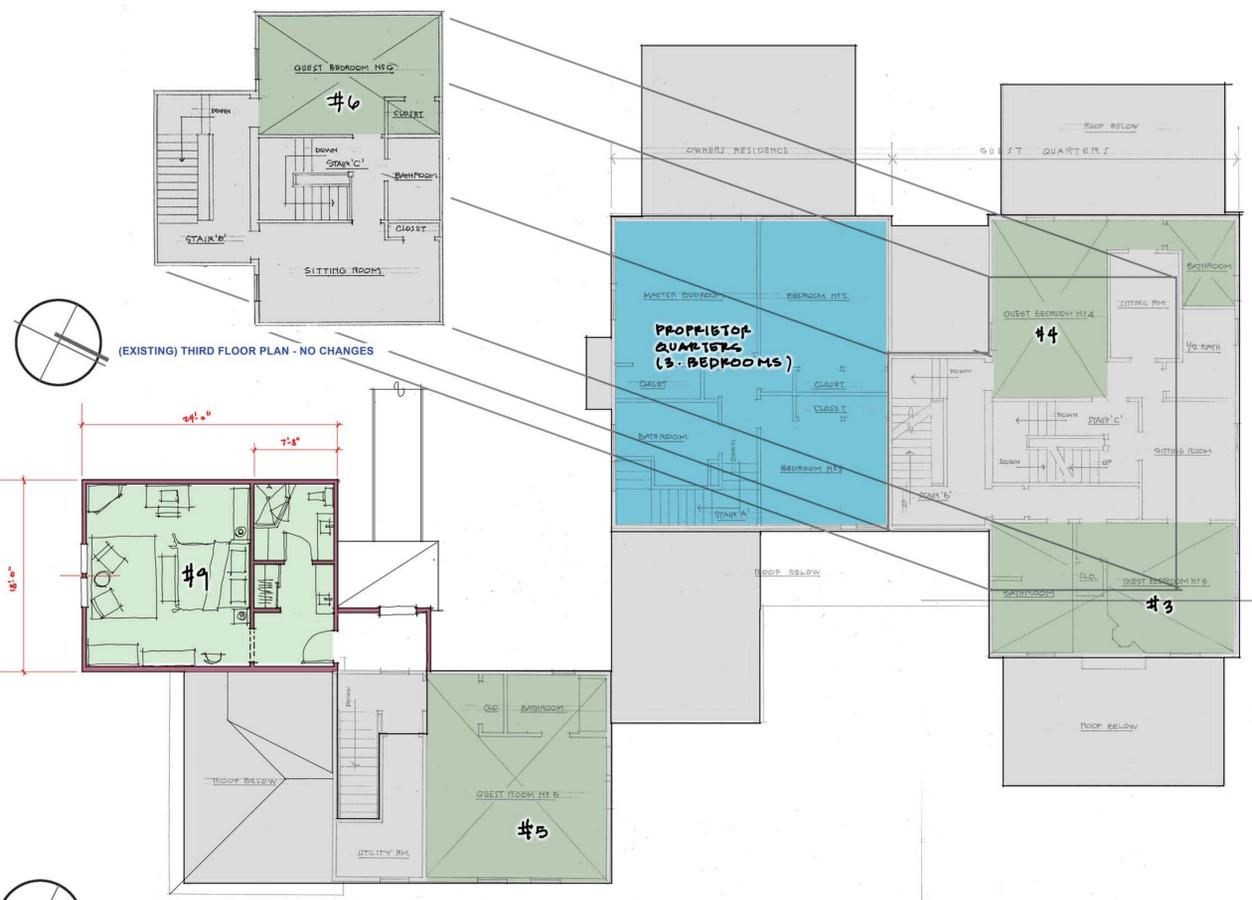
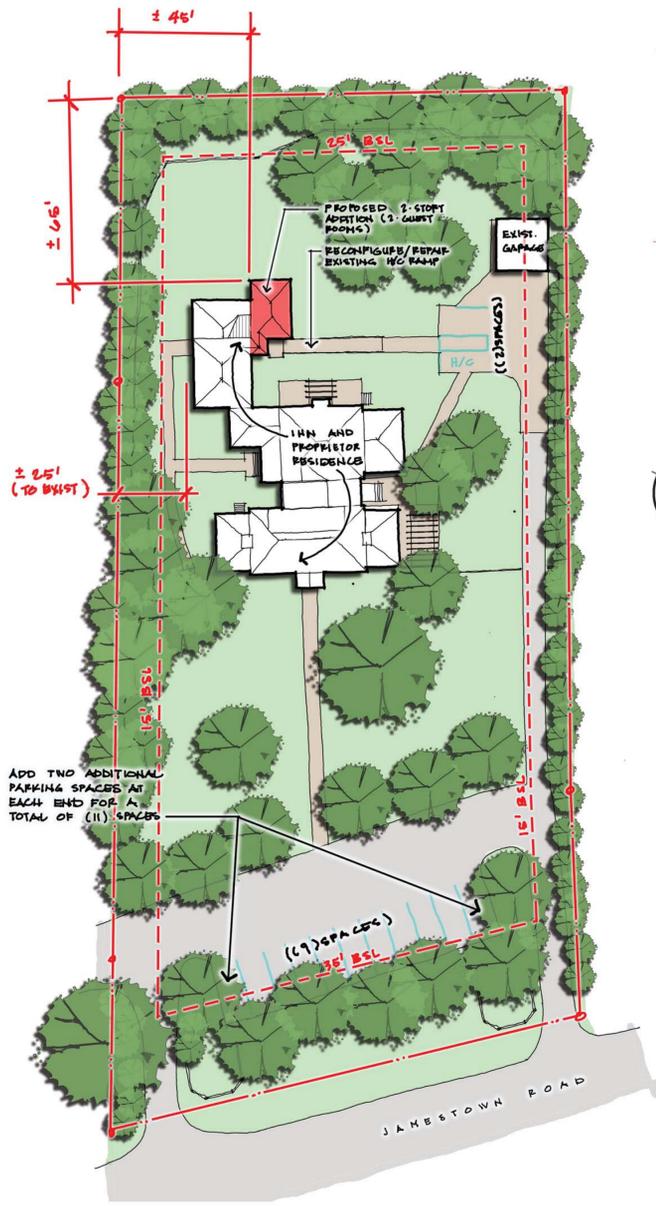
**CITY COUNCIL PUBLIC HEARINGS**

City Council public hearings are scheduled for their regular meeting on November 14, 2019, in the Council Chambers of Stryker Center at 2:00 p.m.

A handwritten signature in black ink that reads "Carolyn A. Murphy". The signature is written in a cursive, flowing style.

Carolyn A. Murphy, AICP  
Planning & Codes Compliance Director



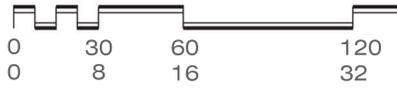


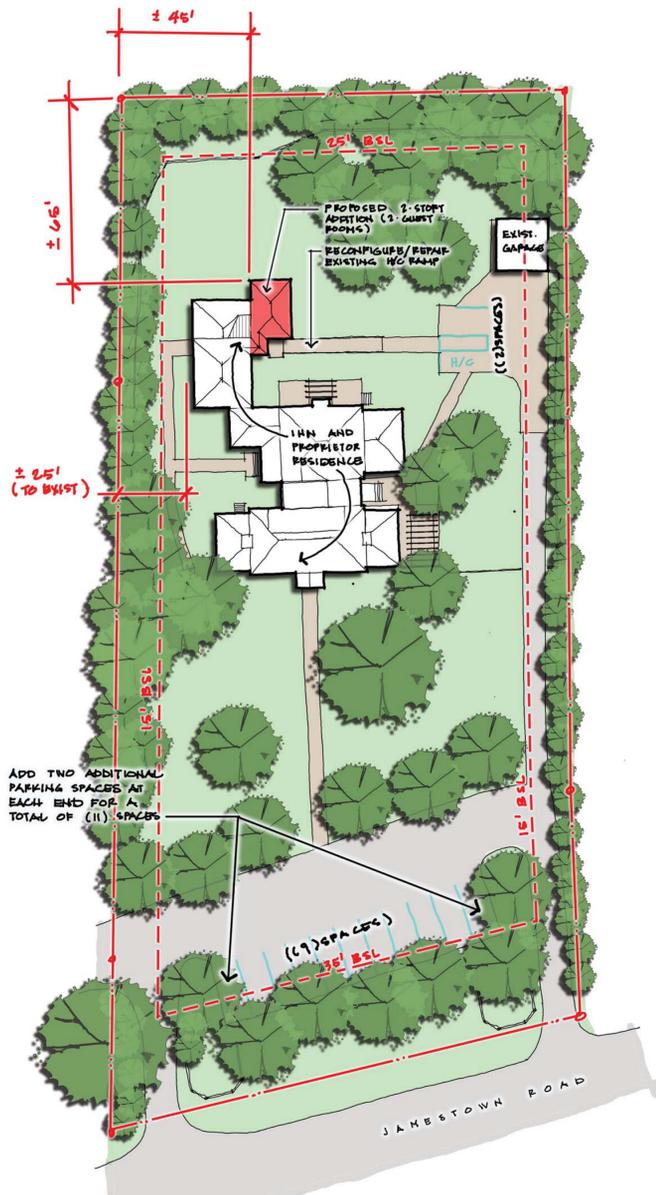
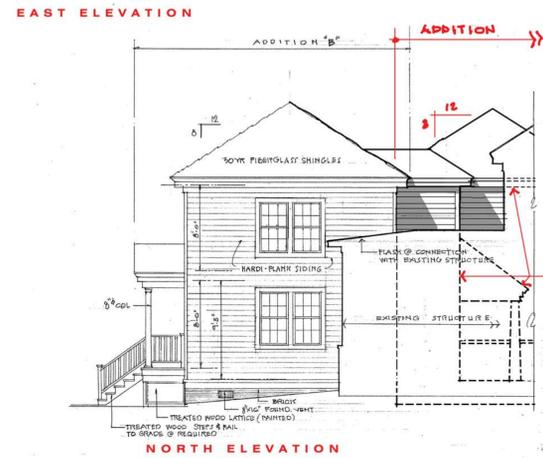
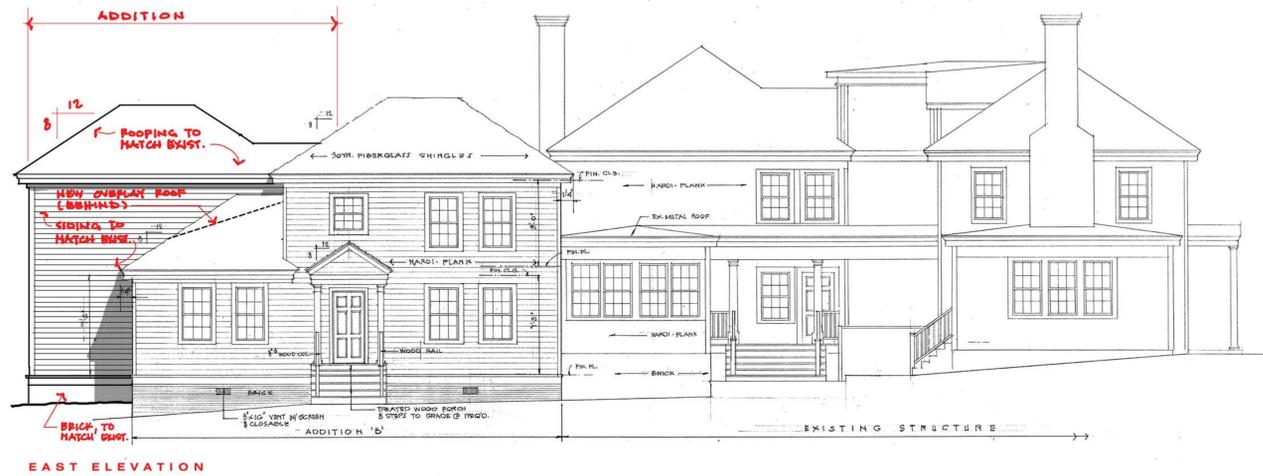
SCHEMATIC DESIGN for  
**ADDITION TO WILLIAMSBURG WHITE HOUSE INN**

H & A # 39006

CITY OF WILLIAMSBURG, VA

19 AUG 2019



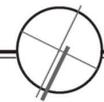
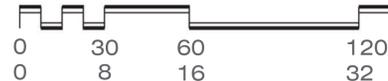


SCHEMATIC DESIGN for  
**ADDITION TO WILLIAMSBURG WHITE HOUSE INN**

H & A # 39006

CITY OF WILLIAMSBURG, VA

19 AUG 2019





CITY OF WILLIAMSBURG  
MEMORANDUM

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**DATE:** October 25, 2019

**SUBJECT:** ARB#19-105: Appeal of the Architectural Review Board decision regarding the request of 1007 Lafayette LLC (Rob and Camille Di Maio) on September 24, 2019, to deny the after-the-fact replacement of wood windows with vinyl windows at 1007 Lafayette Street.

On September 24, 2019, the Architectural Review Board denied the request for after-the-fact approval for the replacement of wood windows with vinyl windows in the dwelling located at 1007 Lafayette Street. The Board denied the request because the *Design Review Guidelines* state “existing wood windows should be retained and repaired and if restoration is not possible then copies of the original window matching the existing sash and frames with duplicates in wood form and details will be required.” The Board approved the replacement of two aluminum windows on the rear with vinyl windows.

Attached is the following:

**Appeal to City Council**

- The applicant’s appeal letter.

**ARB Meeting Information**

- ARB application #19-105.
- Minutes of the September 24, 2019 ARB meeting.
- Staff comments.
- Letter of denial to the applicant.
- Design Review Guidelines for AP-3 District

**ARB APPEAL PROCESS**

Section 21-857 of the Zoning Ordinance regulates the appeal process. It requires that City Council hold a public hearing to review the appeal not more than 45 days after the first Council meeting following the receipt of the appeal. The City Council may affirm, reverse or modify the decision of the Architectural Review Board, in whole or in part. The applicant has the right to appeal the City Council’s decision to the Circuit Court.

## **STANDARDS FOR APPROVAL**

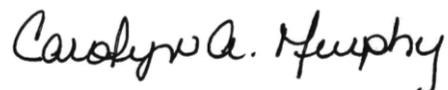
The Architectural Review article of the Zoning Ordinance states that the same standards shall be applied by the Council as are established for the Board. These standards include the "Criteria for Approval" listed in Section 21-855(c), the design guidelines adopted by City Council on October 13, 2013, and Historic Preservation and Urban Design from the 2013 Comprehensive Plan (excerpts are attached). City Council needs to use these standards in deciding on the appeal from the Architectural Review Board's decision.

## **ARB DESIGN REVIEW GUIDELINES**

This property is located in the City's **Architectural Preservation District AP-3** of the **Design Review Guidelines**, which were adopted by the City Council on October 10, 2013.

## **PUBLIC HEARING DATE**

A public hearing is scheduled for the regular City Council meeting on Thursday, November 14, 2019 in the Council Chambers of Stryker Center at 2:00 p.m.



Carolyn A. Murphy, AICP  
Planning & Codes Compliance Director

October 1, 2019

City of Williamsburg  
401 Lafayette Street  
Williamsburg, VA 23185

Re: Application to Council following ARB#19-090

Hello,

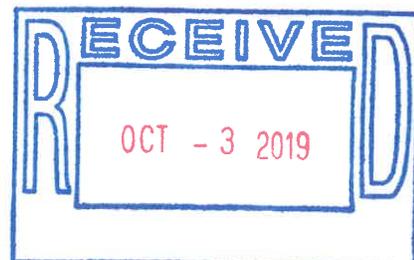
We would like to appeal the decision of the ARB to the City Council at their November 14 meeting. Upon calling the city to learn how to apply to do this, they said to do it in the form of this letter.

Please let us know the next steps to getting on their agenda and also pre-submitting our documentation so that they are aware of what we would like to review with them.

Thank you,

Rob and Camille Di Maio  
4909 Settlers Market Blvd.  
Williamsburg, VA 23188  
[camilledimaio@gmail.com](mailto:camilledimaio@gmail.com)  
210-488-1144

Regarding address 1007 Lafayette



Dear Council Members,

We are petitioning the City Council to appeal the non-unanimous decision by the ARB regarding windows we installed several months ago. It is our belief that our windows installed meet and exceed the expectations in architectural documents and are, by far, superior to the majority of the windows on the street – **many of which are old vinyl or aluminum**. We believe that the **lack of uniformity on the street** supports our case. And finally, we believe that the lack of notice and awareness on the part of the city regarding the regulations in the first place constitutes a wide reason for a decision in our favor. **Even the ARB noted that the city has been negligent** in notice, resulting in many homeowners facing tens of thousands of dollars in changes because they had no awareness of regulations until it was too late. This is an easy remedy that we think the city can and should implement.

Here is the text of our original petition to the ARB:

In April 2019, we purchased 1007 Lafayette in the City of Williamsburg, and as previously testified to the Architectural Review Board, we installed high-quality replacement vinyl windows in place of the deteriorating and unsafe wood windows that were in its place. We had no idea that the house was in an architectural zone, nor did anyone along the way inform us of that – the inspector, contractor, title company, owner, etc. When we received a letter from the city saying that we were in violation of the ARB code, it was a total surprise to us.

We attended an ARB meeting and were told that our windows were declined since we should have replaced “wood with wood”. We were disappointed, of course, as re-installing windows will cost an **additional \$25,000**.

This prompted us to learn more about what the design codes actually say and we believe that we have met every mark of a provision that allows for vinyl replacement.

We have since learned that 1007 Lafayette is in AP-3, and submit the following information from the Design Review Guidelines, chapter 5, page 40, which deals with “New Buildings and Additions in AP-3.” NOTE: Our home, of course, is not a new building or addition, but on page 50 of the same document under “Existing buildings”, the wording reaffirms what is stated on page 40. Text to follow:

Page 40: “High quality synthetic windows may be approved on a case-by-case basis. Applicants must provide the AAMA/WDMA/CAS101/I.S.2/A440-11 certification reference, manufacturer’s warranty (minimum 15-year), local examples of existing installation with a duration of at least 5 years, and how long the manufacturer has been in business (recommended length of business is at least as long as the warranty period.)

Page 50 (Existing buildings) refers back to this paragraph: "Other window types may be **replaced** with windows that are allowed in AP-3 for new buildings or additions on a case-by-case basis."

We have done extensive research to make sure that our windows **do** meet the guidelines referenced here and are submitting documentation as such:

1. **AAMA/WDMA/CAS101/I.S.2/A440-11 certification.** Please see the photo of the certification sticker from one of the windows. You will see that the last two numbers are different – our certification shows -08 instead of -11. We learned that this is based, respectively, on the 2008 testing report and the 2011 testing report. We contacted AAMA (American Architectural Manufacturers Association) and they provided documents that show that the expectations for the 2008 report and the 2011 report are nearly identical (see wording in almost every category of -11 that says "Same as -08" and that the differences refer to "secondary storm products", "tubular daylighting devices", and "skylights". I spoke with Richard Rinka of AAMA (Technical manager) and he said that our windows did not get tested for the 2011 ratings because it is cost prohibitive for a manufacturer to do so and since the rating requirements had not changed for them, there was no need to certify them for -11. He told me that you are welcome to reach out to him if you would like for him to confirm this. 414-614-1535.

So, with this information, we believe that we meet this standard outlined by the city.

2. **Manufacturer's warranty (minimum of 15 years).** Our windows, installed by Window World, come with a "Limited Lifetime Product Warranty". For residential, it is lifetime for mainframe and 20 years for IGU & components. We have provided this documentation. This exceeds the guideline laid out by the ARB. (Note that we also included information that shows that Window World has the following accolades: Good Housekeeping Seal of Approval, JD Power, Lead-Safe Certified Firm, Energy Star, AAMA Gold Label (highest possible), ASTM Internaton Standards, and National Fenestration Rating Council.)

Based on this documentation, we believe that we have met and exceeded the standard outlined by the city.

3. **Local examples of existing installation with a duration of at least 5 years.** Window World provided us with twelve examples of homes in 23185 that had these exact 4000 series windows installed. (See attached) The dates are all in 2016 and we understand that to meet this ARB standard, you would be looking at 2014 or earlier. However, Window World said that they changed their record-keeping system in 2016 and that anything previously installed is archived. As they are not archived by city, they stated that it would be time-prohibitive to look up that exact information, but estimated

the number of homes in the area in which these were installed to be in the “hundreds”. To confirm this, please feel free to call Karen Bailey at Window World at 757-518-8766.

Based on what we are providing here, we believe that we have met the standard outlined by the city.

- 4. How long the manufacturer has been in business (recommended length of business is at least as long as the warranty period.)** Window World has been in business since 1995 (see attached).

Based on what we are providing, we believe that we have met and exceeded the standard outlined by the city.

- 5. “High-quality synthetic windows may be approved on a case-by-case basis.”**

Per the Window World salesman, Lawrence Craft, our windows are “virgin vinyl”. According to [www.expert123.com](http://www.expert123.com), “Virgin vinyl is the term applied to vinyl that is extruded for the first time. Regrind is the term given to vinyl that has been extruded, then the parts are ground up into small “pellets” and can be re-extruded. The implication is that ‘virgin vinyl’ is purer or superior to reground vinyl.” In addition, these windows are certified by AAMA with the gold seal, which is their highest grade rating.

Based on this information, we believe that we have met the standard outlined by the city.

As you can see, we believe that we have a significant case to receive approval for these windows.

The ARB felt that **the city has not adequately informed consumers and residents that a board or guidelines even exist.** It is not apparent to one moving from outside the state that a city established in 1699 would consider a home in 1951 “historic”. We recommend that in the future, as also recommended by the ARB, that the city create a form that title companies require buyers to sign at closing, establish better communication with Realtors, more apparent information on the website (I had to click through nine links to even find the guidelines), and a letter to go out upon receiving word that there has been a deed transfer. These measures would go a long way to eliminate this kind of situation, which saves the resident, the board, and the city time and money.

We are asking for your consideration based on the following:

- These are arguably the nicest windows now on Lafayette, and as **many homes on the street have old vinyl windows**, this meets and exceeds the visual standard on the street.
- The previous windows were wood and although they were unsightly and unsafe, it is not logical to us that we could have kept those and somehow been within guidelines, but newer, safer, better windows would not.
- And on the personal side, we are a Marine Corps family. My husband has served this country and we have sacrificed for him to do so. More than we can even say. Our intention in moving to Williamsburg was to move away from a city that was riddled with sex-trafficking (San Antonio) and high incidents of roadway deaths to be in a smaller, safer town with our four children. We have immediately jumped into the community, volunteering at church, participating in community activities, and our 14 year old daughter is even a costumed Junior Interpreter at Colonial Williamsburg (brickyard). Our 10 year old son hopes to do the same in two years when he is old enough. We love our new town and want to continue to be contributing, vibrant citizens. It is our hope that our city will take into consideration all of the above and will spare our family from an exorbitant and crippling expense when we have proven that we meet the guidelines.

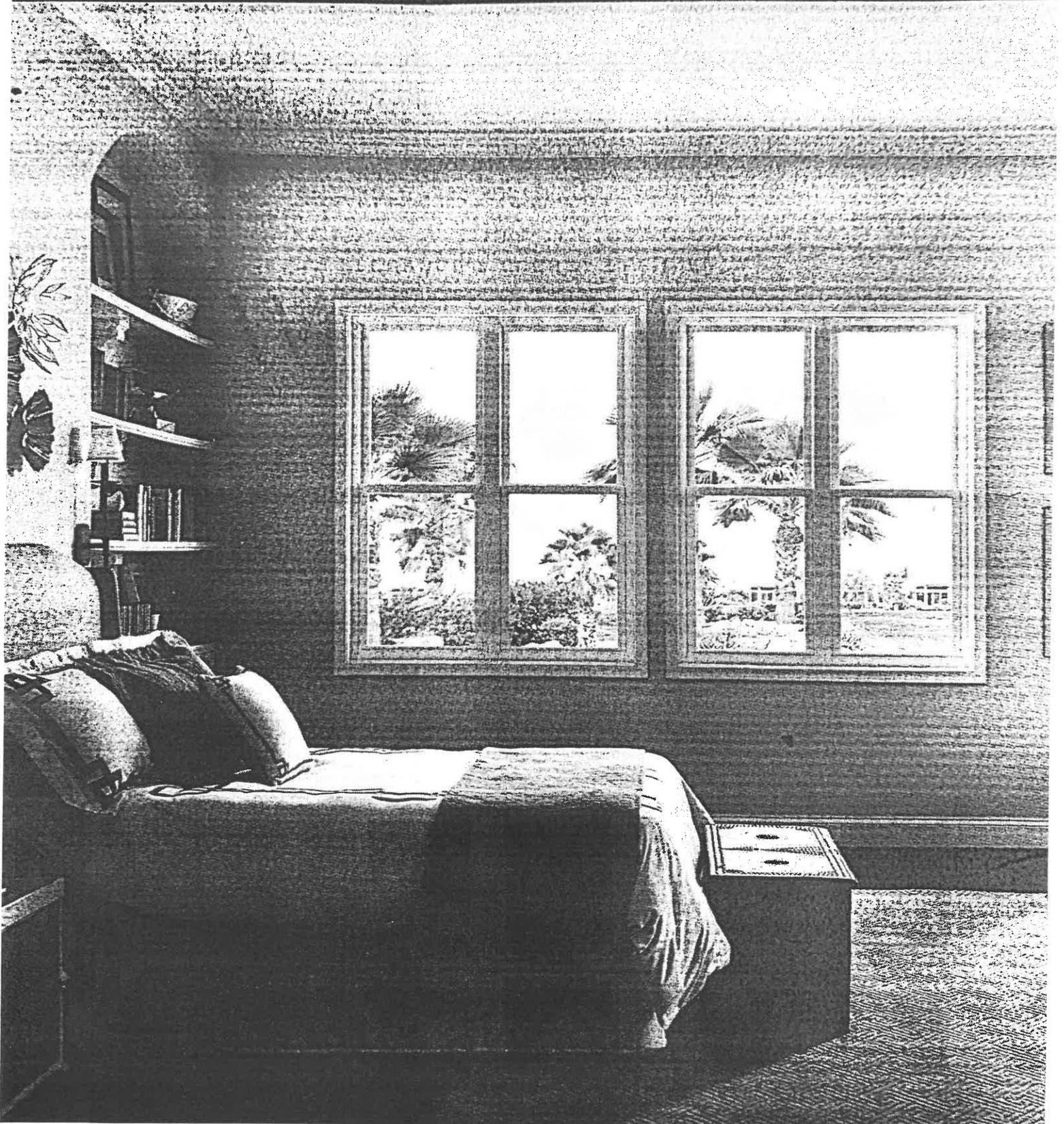
Thank you very much,

Rob and Camille Di Maio

ELEGANCE & ENERGY EFFICIENCY

# WINDOW WORLD<sup>®</sup>

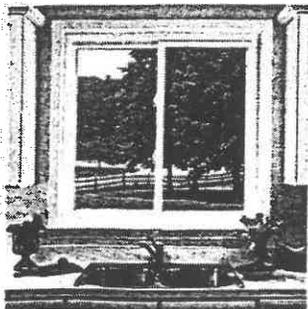
4000 Series Vinyl Replacement Windows



# 4000 SERIES WINDOWS

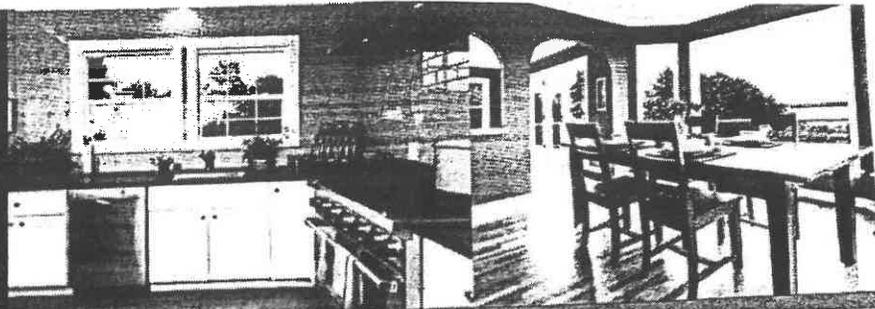


*Showcase your home with our 4000 Series Vinyl Windows. With top energy efficiency, exceptional strength, and beautifully clean, sleek lines, they'll provide you everything you're looking for, and more. Our promise to you, "Simply the Best for Less."®*



**Horizontal sliding windows offer a high, uninterrupted viewing area.**

Energy-efficient options and a variety of stylish design choices offer numerous opportunities to customize our 4000 Series Replacement Windows to suit your needs. Choose to upgrade with our SolarZone™ glass packages to help improve thermal performance and ensure energy cost savings. A variety of operational configurations gives you the ability to select the window style that will make the most of your home. Choose from our white or almond color offerings with options to add an interior woodgrain laminate, rich-hued exterior color, plus multiple distinctive grid patterns, and you can beautifully achieve your design aspirations. After Window World's expert installation, you'll rest assured knowing you've chosen the best quality windows available.



### Best-in-Class Features:

- 1 Welded, heavy-duty vinyl construction provides superior strength and durability while multiple hollow chambers in the mainframe create sealed air spaces for an effective insulating barrier.
- 2 Optional high-density foam throughout the mainframe offers superior thermal performance.
- 3 The beveled exterior edge adds style and curb appeal to an already sleek design.
- 4 Dual- and triple-pane insulating glass creates a sealed air space between the panes that is enhanced by our Duralite® warm-edge spacer system.
- 5 Metal reinforcements at the meeting rail add further stability.
- 6 Recessed, opposing cam locks secure your window without interrupting sight lines.
- 7 Heavy-duty weatherstripping and interlocking sashes help to keep weather and wind outside.
- 8 An easily removable latching half screen gives you the freedom to let air in while keeping pests out. Featuring Clarity® mesh, the screen allows you to focus on what's important: the view.
- 9 Recessed tilt latches can be released to tilt both top and bottom sashes into the home for easy cleaning.
- 10 Detent clip keeps the top sash from drifting while an inverted-coil balance system ensures both sashes will stay where you put them, no matter the position.
- 11 Balance channel covers help achieve a polished look.
- 12 Push-button vent latches allow for overnight ventilation while giving you added peace of mind.
- 13 Welded combination sill featuring a deflection leg enhances rigidity and a five-degree sloped sill directs water away from the home and eliminates unsightly weep holes.
- 14 Full-length, integrated ergonomic lift rails provide convenient, easy operation. Bevel on bottom rail makes gripping easy.
- 15 Series consists of double-hung, double sliding, casement, awning, basement, bay and bow, picture, and architectural shape windows.

### Sliding Window Features:

- Heavy-duty tandem rollers ensure easy, consistent operation.
- Two- or three-panel configurations are available.

### Energy-Saving Glass Packages:

Our SolarZone™ insulated glass packages help you save on heating and cooling costs while also keeping your home more comfortable. In warm weather, SolarZone reduces solar heat gain, minimizes interior glare, and lowers inside glass temperature to save energy and keep you cool. In cold weather, SolarZone helps to control the heat inside your home by providing thermal protection that keeps the inside glass panel warmer.

Thermal Performance Comparison 1

	Double-Hung		Sliding	
	U-Factor	SHGC	U-Factor	SHGC
Clear Glass	0.44	0.57	0.44	0.57
SolarZone	0.27	0.28	0.27	0.27
SolarZone w/ Foam	0.27	0.28	n/a	n/a
SolarZone Elite	0.27	0.21	0.27	0.20
SolarZone Elite w/ Foam	0.26	0.21	n/a	n/a
SolarZone TG	0.22	0.25	0.21	0.23

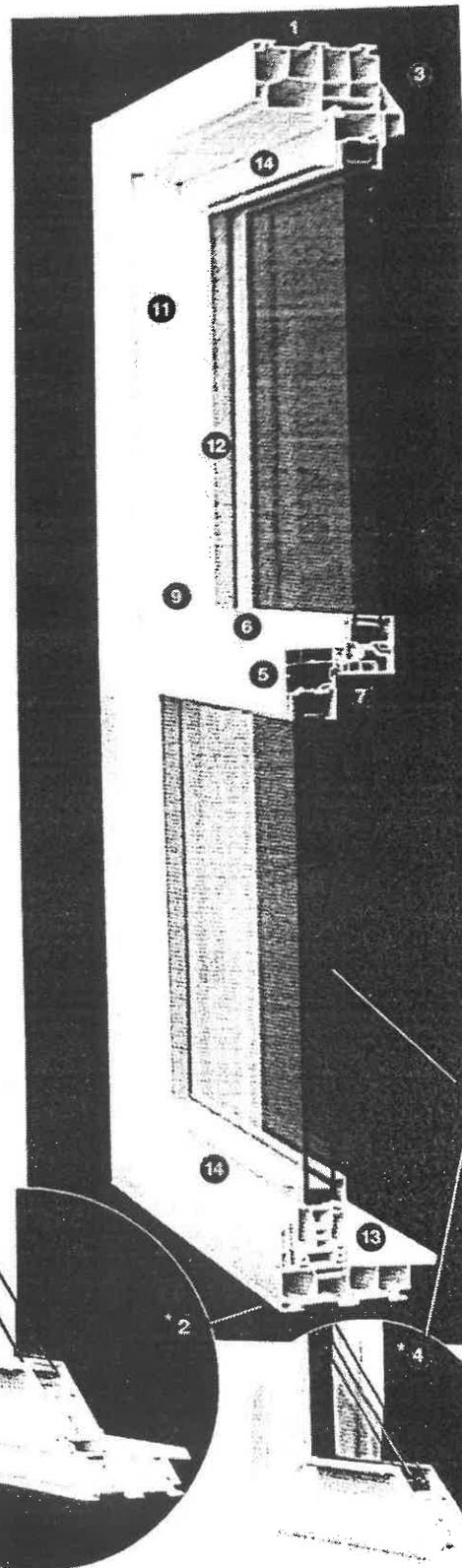
Clear Glass:

SolarZone:

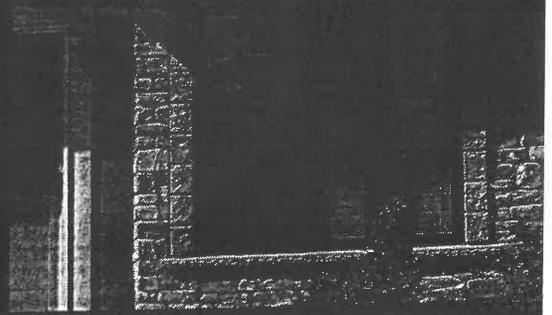
SolarZone Elite:

Foam Enhancement:

SolarZone TG:



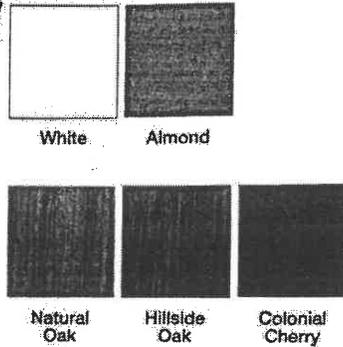
# WINDOW ACCENTS



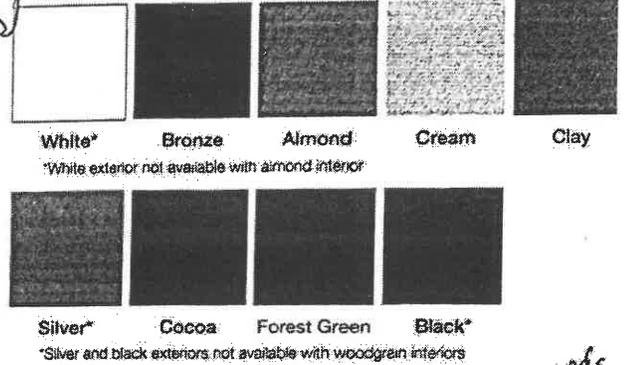
## Color Options:

Window World offers a wide variety of color options to complement the interior or exterior style of your home. Classic extruded vinyl colors are enhanced by expertly applied interior woodgrains and rich-hued exterior finishes. The high-performance coatings provide low-maintenance, durable color while combining the look of wood-crafted windows with the energy efficiency of vinyl.

### Interior Palette



### Exterior Palette



## Grid Options:

From simulated divided lite grids, which convey a historical look, to grids-between-the-glass, which allow for easy cleaning, Window World's variety of grid options has something for everyone. Grids are available in numerous colors, sizes and patterns to help achieve your desired aesthetic.

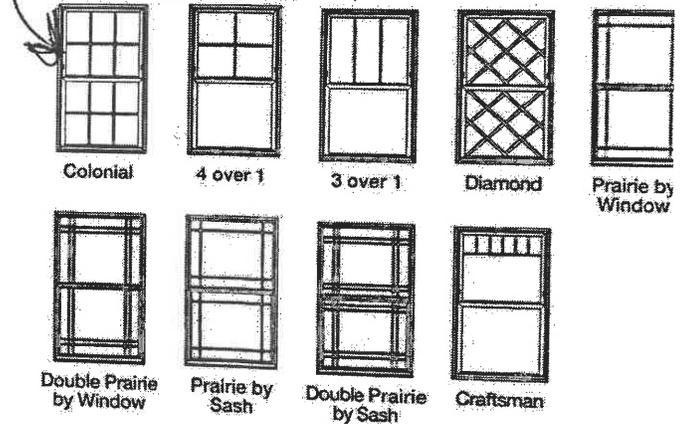
### Simulated Divided Lite



### Grids-Between-the-Glass



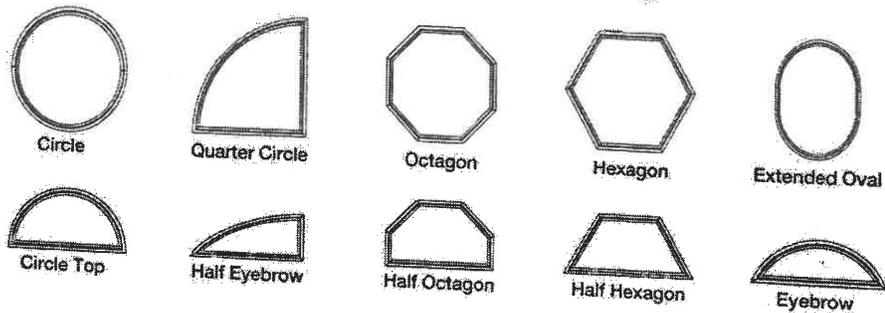
### Standard Grid Patterns



*\*Window World still needs to install a few grids, but most are in place.*

## Architectural Shapes:

Many standard and custom window shapes are available to fit a wide range of spaces.



# Window World

118 Shaver Street  
 North Wilkesboro, NC 28659  
 1-800 NEXT WINDOW | 1-800-639-8946  
 www.WindowWorld.com



GOLD



CERTIFIED

MT Windows SERIES: 4000

CODE HTL-2

Perf Grade R-PG40*	+ DP (ASD) 50.1	- DP (ASD) 55.1	Water 6.06	Max Test Size 36.00 X 60.00	CPD 8624 PL#029-216
This product tested in accordance with AAMA/AMA/CSE 101/T. S. 2/A440-08 and NFRC 100					

MFG: 5/2019  
 ORD: 261111073.3  
 DO NOT REMOVE



## Standards Progression - Windows, Doors & Unit S

Category/Topic	AAMA/NWDA 101/I.S.2-97 (Windows and Glass Doors) AAMA/WDMA 1600/I.S.7-2000 (Skylights) [Separate ANSI Standards]	AAMA/WDMA 101/I.S.2/NAFS-02 (Windows, Glass Doors & Skylights) [Combined ANSI Standard]	AAMA/WDMA/CSA 101/I.S.2/A440-05 (Windows, Doors & Skylights) [CSA format]
<b>General and Window Topics</b>			
Format	Primarily by operator type	Similar to '97	Reorganized per CSA format
Basis of Rating	IP Only	IP Primary (Metric Optional)	Same as '02
Compliance Measurement Units	IP Primary (Metric Secondary)	Metric Primary (IP Secondary)	Same as '02
# of Product Operator Types	20	26	30
Operator Type Codes	H, HS, VS, AP, C, VP, HP, SHW, TH, F, DA, BW, HE, GH, J, JA, TA, HGD, DA-HGD, SGD	Added SHW, SLT, SP	Added ATD, SHD and SD; changed DA to DAW, F to FW and FD
# of Performance Classifications	Five: (R, LC, C, HC, AW)	Same as '97	Same as '02
Performance Grade Caps	No upper limit on Grade (Design Pressure)	Upper limit of 60 psf above Gateway except AW	Same as '02
Alternative Minimum Test Sizes and minimum PG for Class R Products	Not included		
US Operating Force	Force to maintain motion ONLY	Force to initiate and maintain motion	Force to maintain motion but test and record force to initiate
Canadian Operating Force	Not included		Optional
US Air Leakage	0.3 and 0.1 cfm/ft <sup>2</sup>	0.3 cfm/ft <sup>2</sup> ONLY	0.3 and 0.1 cfm/ft <sup>2</sup>
Canadian Air Leakage	Not included	Optional levels	Same as '02
Frame/Sash Deflection Limits	AW and HC Hung ONLY	AW and HC ONLY	Same as '02
Glass Deflection Limits	Exception Noted	Exception Noted	Same as '02
Frame/Sash Permanent Deformation	0.4% (0.2% for AW)	0.4% (0.2% for AW)	0.4% for R & LC, 0.3% for C & HC, 0.2% for AW
Forced Entry Resistance Standard	ASTM, CMBISO, or AAMA	ASTM, CMBISO, or AAMA	ASTM ONLY
Glass Strength Standard - basis of glass selection	ASTM E 1300-94 - use weakest glass for testing	ASTM E 1300-00 - use weakest & thinnest glass for testing	ASTM E 1300-02 - use weakest glass for testing
Plastic Glazing Requirements	[From 1600/I.S. 7] Light, Haze, Brittleness, Smoke, Ignition, Combustibility, Safety glazing, Effect of Weathering	Reference AAMA/WDMA 1600/I.S. 7	Incorporated provisions of AAMA/WDMA 1600/I.S. 7
Secondary Storm Products	Not included		
Materials Referenced	aluminum, wood and vinyl	Added cellular PVC, fiberglass, steel, fiber-reinforced PVC, and ABS	Added flush and molded wood fiber doors, and cellulosic composite materials
Lead content	Not included		0.02% max for finished framing & cladding per ASTM E1753 (not included for hardware)
Wood requirements	Max. 12% moisture content. Suitable for opaque finish. Adhesives compliant with D5572, D5751 and D3110. Treated per I.S.4	Same as '97, but removed D3110	Same as '02, but added formula for determining moisture content. Also added requirement for treat formulations to have a Health Canada registration no.
Mullion Definitions and Illustrations	Definition Only	Examples & Illustrations	Expanded Explanation
Primary Designator Example	C-R25 30 x 60	C-R25 760 x 1520 (30 x 60)	C-R25 760 x 1520 (30 x 60)
Secondary Designator (optional)	Not included		Added

# Skylights

AAMA/WDMA/CSA 1011.5.2/A440-08 (Windows, Doors & Skylights) [CSA format]	AAMA/WDMA/CSA 1011.5.2/A440-11 (Windows, Doors & Skylights) [CSA format]
Same as '05	Organized by product type, performance class, materials and components
Same as '05	Same as '08
Same as '05	Same as '08
31	36
Same as '05	Added POW, SSP (-CSD, -KSD, -SGE, -SGI, -FEW, -FWI, -HWE, -HWI, -VWE, -VWI); Changed ATD to ATW, GH to GW.
Four: (R, LC, CW, AW) [Requirements for CW same as C in '05 and must meet L/175]	Same as '08
Upper limit of PG 100 for R, LC, CW. No limit for AW.	Same as '08
Added	Same as '08
CW: Same as Class C in '05. Class R Hung increased from 30 to 35 lb. Class LC Hung increased from 35 to 40 lb.	Same as '08
Optional, but now based on "Normal Use" and "Cleaning & Maintenance" categories	Same as '08
CW: Same as Class C in '05.	Same as '08
Optional. CW: Same as Class C in '05.	Same as '08
CW and AW only	Same as '08
Same as '05	Same as '08
0.4% for R & LC, 0.3% for CW, 0.2% for AW	Same as '08
Same as '05	Same as '08
ASTM E 1300-04 - use weakest glass for testing	ASTM E 1300-09a- use weakest glass for testing
Same as '05	Same as '08
	Added SSP (-CSD, -KSD, -SGE, -SGI, -FEW, -FWI, -HWE, -HWI, -VWE, -VWI)
Same as '05	Same as '08
Same as '05, but expanded the explanation and added ASTM E1613 as a confirmation test if E1753 test is positive.	Updated testing for framing / cladding to parallel US EPA field testing criteria, and expanded the criteria for testing for lead in hardware
Same as '05, but added D4442 for determining moisture content, and removed references to "suitable for an opaque finish" and "suitable for structural performance".	Same as '08, but removed reference to D4442.
Same as '05	New ratings and designations
Class R-PG25: Size tested 760 x 1520 mm (30 x 60 in)-Casement	Class R-PG25: Size tested 760 x 1520 mm (30 x 60 in)-Casement
Positive DP allowed to be higher than negative DP or PG.	Same as '08

Secondary Designator Example	Not included		Design Pressure = 2880 Pa (60 psf) Water Penetration Resistance Test Pressure = 580 Pa (12 psf) Canadian Air Infiltration/Exfiltration Level = A3
Definition of "DP" and "PG"	DP = design pressure rating based on lowest air/water/structural performance	Same as '97	Same as '02
Use of Residential, Light Commercial, Commercial, Heavy Commercial and Architectural names in Ratings	Included		
Specimen Structural Damage	No glass breakage, permanent damage to fasteners, hardware parts, support arms or actuating mechanisms	Added disengagements	Limits retests due to glass breakage or hardware to two
Deglazing Sash Movement	≤ 100%	≤ 90%	Same as '02
Laboratory Test Report	Per ASTM standards	Added laboratory test report requirements	Added drawings required by ASTM and additional ratings supplied by mfr.
Tempered Glass	Can be used for testing if it was the weakest, thinnest glass per ASTM E 1300 to qualify other glass types in production.	Can be used for testing if it was the weakest, thinnest glass per ASTM E 1300 to qualify other glass types in production.	Can be used for testing if it is the weakest per ASTM E 1300 and meets the L/175 requirement for edge deflection, to qualify other glass types in production.
Water Penetration Resistance Pressure Cap	12 psf	15 psf	12 psf (US); 15 psf (CAN)
Transoms	Not included	Maximum height is 700 mm	Maximum height is 800 mm

**Topics specific to Doors**

Side-Hinged Exterior Doors	Not included	Added SHD
Architectural Terrace Doors		Added ATD
US Operating Force for SHD		Force to maintain motion but test and record force to initiate
US Air Leakage for SHD		Same as for windows
Canadian Air Leakage for SHD		Same as for windows
Force to Latch Requirement for SHD		Added
Sidelites		Added & Expanded
Side-Hinged Exterior Door Systems Operation/Cycling		R (25,000), LC (100,000), C (250,000), HC, except ATD (500,000), HC ATD (25,000), AW, except ATD (1,000,000), AW ATD (25,000)
Limited Water Rating for SHD		Added
Cycle/Operating Testing for SHD		Added
Hardware Water Testing for SHD		Added
Vertical Load Testing for SHD		Per AAMA 925-03
FER Testing for Swinging Doors		Added

**Topics specific to Skylights, etc.**

# of Product Operator Types	Two (with 4 sub-types)	Three (removed sub-types)	Same as '02
Operator Type Codes	SKG, SKP (1,2,3,4)	Added RW	Same as '02
Performance Classes	Three (R, C, HC)	Same as '00	Same as '02
Performance Grade Caps	No upper limit on Grade (Design Pressure)	R-135; C-150; HC-none	No limit
Performance Grade Defined by:	Positive design pressure only	Same as '00	Same as '02
Frame/Sash Permanent Set	0.4% of span	Same as '00	Same as '02
Materials Referenced	Aluminum, Wood, Vinyl, Fiberglass, Steel	Added 3 additional materials	Added additional materials
Tubular Daylighting Devices	Not included		

DP = 2680 Pa (60 psf) Water Penetration Resistance Test Pressure = 580 Pa (12 psf) Canadian Air Infiltration/Exfiltration Level = A3	Same as '08
PG = Performance Grade based on lowest air/water/structural performance; DP = design pressure	Same as '08
<b>Deleted</b>	
Same as '05	Same as '08
Same as '05	Same as '08
Removed drawings required by ASTM and additional ratings language	Same as '08
Same as '05	Same as '08
Same as '05	Same as '08
Same as '05	Same as '08
Same as '05	Same as '08
Same as '05	Same as '08
Same as '05	Same as '08
Same as '05	Same as '08
Same as '05	Same as '08
Same as '05	Same as '08
CW: Same as Class C in '05. Measure and record force / torque to operate dead-bolt for SHD.	Same as '08
Same as for windows	Same as for windows
Same as for windows	Same as for windows
Same as '05	Same as '08
Same as '05	Changed operator designations
R (25,000), LC (100,000), CW (250,000), AW, except ATD (500,000), AW ATD (25,000)	Same as '08
Same as '05	Same as '08
Same as '05, but added measurement of dead-bolt op. force.	Same as '08
Same as '05	Same as '08
Per AAMA 925-07 (removed pass/fail criteria)	Same as '08
Same as '05	Same as '08
<b>Deleted</b>	
Four	Seven
Added TDD	Added RWG, RWP; changed TDD to TDDCC and TDDOC; dropped TDD
Two (R and CW)	One (PG)
Same as '05	Same as '08
Same as '05	Same as '08
Same as '05	Same as '08
Same as '05	Same as '08
Added TDD	Changed to two operator designations, and revised testing for closed ceiling and open ceiling types

Primary Designator Example	SKP-C30 48 x 48	SKP-C30 50 1200 x 1200 (48 x 48)	SKP-C30 1200 x 1200 (48 x 48)
Secondary Designator Example	Not included		Design Pressure (Download = 4800 Pa (100.0 psf); Negative Design Pressure (Uplift) = 1680 Pa (35.0 psf); Water Penetration Resistance Test Pressure = 290 Pa (6.0 psf)
Skylight Testing Orientation	Lowest slope allowed	Same as '00	Vertical or Sloped
Skylights Structural Test Load - Glass	1.4 to 1.5 times DP	Same as '00	2.0 times DP, Pos and Neg
Skylights Structural Test Load - Plastic	1.4 to 3.0 times DP	Same as '00	2.0 times DP, Pos and Neg
Skylights Structural Test Duration	Negative pressure 10 seconds; Positive Pressure 60 seconds	Same as '00	Negative and positive pressure 60 seconds

**Reference Standards:**

**Title**

AAMA/NWDA 101/I.S.2-97	Voluntary Specifications for Aluminum, Vinyl (PVC) and Wood Windows and Glass Doors
AAMA/WDMA 1600/I.S.7-2000	Voluntary Specification for SKYLIGHTS
AAMA/WDMA 101/I.S.2/NAFS-02	North American Fenestration Standard - Voluntary Performance Specification for Windows, Skylights and Glass E
AAMA/CSA/WDMA 101/I.S.2/A440-05	Standard / Specification for windows, doors and unit skylights
AAMA/CSA/WDMA 101/I.S.2/A440-08	NAFS, North American Fenestration Standard / Specification for windows, doors, and skylights.
AAMA/CSA/WDMA 101/I.S.2/A440-11	NAFS, North American Fenestration Standard / Specification for windows, doors, and skylights.





## LIMITED LIFETIME PRODUCT WARRANTY EASTERN REGION | REPLACEMENT PRODUCT

**RESIDENTIAL: LIFETIME FOR MAINFRAME 20 YEARS FOR IGU & COMPONENTS**

**COMMERCIAL: 10 YEARS FOR MAINFRAME, IGU & COMPONENTS  
ALL: 2 YEARS SKILLED LABOR & SHIPPING | TRANSFERABLE**

Congratulations! As a consumer purchaser of window and doors manufactured by MI Windows and Doors, LLC ("MI") you have our assurance that MI will respond to your notice of product issues as described below. This applies to MI products installed as replacement products.

**Coverage.** This Warranty covers windows and doors ("Product") manufactured by MI as replacement product in its Eastern Region<sup>1</sup> after July 15, 2016. It attaches to the Product at the time of sale by MI and is provided to the initial purchaser of the Product. The Warranty transfers to all subsequent Product owners, and the selling owner should provide this document to a buyer before or at the time of sale.

Upon proper notice of a claim by the Product owner ("Owner") received during the warranty period and per the terms stated herein ("Claim"), MI will provide replacement parts ("Parts") to correct a nonconformity in material or workmanship causing a significant impairment in usage of the Product or an obstruction of vision through the insulated glass unit ("IGU") (collectively "Nonconformity").

**Residential Dwelling.** MI will provide Parts to correct a Nonconformity for a Claim made by an Owner of an Owner-Occupied Residential Dwelling<sup>2</sup> as follows: Mainframe: at no charge for a Claim made during the lifetime of the Product. IGU & components: at no charge for a Claim made within 20 years of the date of manufacture ("Manufacture Date").

**Commercial Application.** MI will provide Parts at no charge to correct a Nonconformity in the mainframe, IGU or components for a Claim made within 10 years of the Manufacture Date by an Owner of a structure other than an Owner-Occupied Residential Dwelling.

**Labor & Shipping.** MI will provide Skilled Labor<sup>2</sup> necessary to repair the Product and pay shipping costs for two (2) years from the Manufacture Date. Owner is responsible for the cost of all non-skilled labor, and for any labor or shipping costs for a Claim received more than two (2) years after the Manufacture Date. A fee will be charged for inspections requested more than two (2) years after Manufacture Date.

MI shall not be responsible for the cost of labor or materials required for repairing or restoring any material or surfaces beyond the Product. MI is not responsible for any labor when a complete replacement unit is provided. Owner must provide access to the interior and exterior of the Product, and provide any scaffolding or lift equipment necessary to reach Product not accessible with a 15' extension ladder. Where safe and practical access is not available, MI shall be required to provide only the Parts and will not be responsible for labor. If Owner fails to appear for a scheduled appointment, MI may leave the Parts and/or charge a separate fee to return and complete the service.

**Modified Coverages.** Laminated and painted frames: 10 years for peeling, blistering, or excessive ultraviolet discoloration. Blinds between the glass and integral shades: 10 years for obstruction of vision and one (1) year for significant impairment in usage. Simulated divided light: 10 years for Nonconformity. Laminated and Impact IGUs: Five (5) years for Nonconformity. Insect screens: Two (2) years for Nonconformity. Hardware in coastal applications: Two (2) years for corrosion.

**Warranty Claim Process.** Submit claims to: MI Customer Care, P.O. Box 370, Gratz, PA 17030 | W: [www.miwindows.com](http://www.miwindows.com) | E: [CustomerCare@miwd.com](mailto:CustomerCare@miwd.com) | P: (717) 365-2500 | F: (717) 365-3780. MI shall have no obligation under this Warranty without prior notice as provided herein. Owner must submit a claim during the coverage period and within 30 days of discovering the perceived Nonconformity. Notice must include contact information, order number, and description of the issue. Photographs are required unless unobtainable. MI shall investigate and respond in a timely manner per the terms of this Warranty, including inspecting the Product at its option. Parts may not be an aesthetic match to the original. MI reserves the right to discontinue or modify its products. When that occurs, MI shall substitute parts or product of equal value or quality. MI may elect to provide a complete replacement unit or refund the price of the affected Product in full satisfaction of its obligations.

**Disclaimers & Limitation of Remedies.** MI makes no warranty for Product sold as replacement product in its Eastern Region beyond that contained in this writing. **ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, INCLUDING ANY WARRANTY WITH RESPECT TO MERCHANTABILITY, FITNESS FOR A PARTICULAR PURPOSE, OR ARISING FROM THE COURSE OF PERFORMANCE, COURSE OF DEALING, OR USAGE OF TRADE ARE DISCLAIMED.** If disclaimer of implied warranties is prohibited by law, they are limited to the applicable duration in this Warranty. The remedies herein shall be the buyer's exclusive remedy regardless of MI's negligence. **MI SHALL NOT BE LIABLE FOR CONSEQUENTIAL OR INCIDENTAL DAMAGES, PERSONAL INJURY, LOST PROFITS, LOSS OF USE, DIMINUTION IN VALUE, OR PUNITIVE DAMAGES.** In no event shall MI's liability exceed the price of the covered Product. Some states do not allow limitations on how long an

implied warranty lasts, or exclusions of incidental and consequential damages, so the related limitations or exclusions may not apply to you. This Warranty gives you specific legal rights, and you may also have other rights which vary from state to state.

Any liability of MI is contingent upon Owner (past or present) fulfilling its notice obligations as stated herein. Owner shall have no standing to assert any legal claim without first submitting a Notice of Legal Claim form ([www.miwindows.com/LegalClaim](http://www.miwindows.com/LegalClaim)) and waiting the requisite 45 days. This Warranty may only be modified by a writing signed by an officer of MI. Any act or omission of MI does not create a new warranty or extend the term of this Warranty. MI makes no representation regarding the useful life of MI Product.

**Excluded Conditions.** This Warranty does not cover, and MI has no obligation to respond to, a Nonconformity caused in whole or part by:

- An application, configuration, or installation exceeding the capacity of the Product design or in violation of applicable codes, plans, and specifications; mishandling of Product; failure to properly incorporate Product into the building envelope; installation in inappropriate openings or not in conformance with MI installation instructions, AAMA or ASTM installation standards, or good building practices.
- Normal wear and tear, aging, weathering, or corrosion; lack of product maintenance, misuse, or abuse; interior moisture or condensation. Normal weathering includes the gradual fading, chalking, or darkening of any colored surface.
- Glass breakage; glass blemishes, scratches, or other imperfections allowable for standard B grade glass under applicable ASTM standards; or reflection of solar energy (sunlight) off of the Product.
- Alterations or modifications of the Product or components, such as field mulls, reinstallation, application of tints or films, caulk, or paint finishes; installation of security systems or window coverings; or sources of undue stress, pressure, water, heat, or cold.
- Power washing or the use of harsh chemicals such as brick wash, acids, salts, abrasive cleaners, or solvents; Acts of God, or any other condition or cause beyond MI's control.

This Warranty covers only Product confirmed to have a Nonconformity. Where product testing occurs, Owner must give MI prior notice and opportunity to observe, and identify anticipated test methods. Without its prior agreement, MI shall not be required to respond to testing results or extrapolations to non-tested Product, nor shall it contribute to the cost of testing. MI is not responsible for determining the suitability of its products for surrounding building components or wall design.

MI products are tested in accordance with procedures established by AAMA and NFRC. The tests measure the performance of sample products in a laboratory setting. MI manufactures its products using the methods and materials used in fabrication of the tested product. However, product components and manufacturing processes involve a range of tolerances which can cause variance among tested values, and in-field evaluation of a product can affect test results as well. For these reasons, MI does not warrant its test results.

The thermal performance of many window products are enhanced by insertion of gases into the inner space of the IGU. Given the nature of these gases and technology used to manage them, MI does not warrant specific gas retention or fill levels and performance variation may occur.

**Requirement Before Initiating Legal Proceeding.** Before initiating a legal proceeding against MI under any legal theory, an Owner (past or present) must first give MI notice of its intent to file a legal claim by filling out and submitting the Notice of Legal Claim form available at [www.miwindows.com/LegalClaim](http://www.miwindows.com/LegalClaim). Owner must wait 45 days after submitting the Notice of Legal Claim to initiate a legal proceeding in order to allow MI the opportunity to investigate and tender a resolution for issues claimed. Follow the instructions under Warranty Claim Process for standard warranty service requests.

**Window Safety.** Screens on MI products are intended to keep out insects and are not intended to provide security or for the retention of persons or objects. Fall prevention devices, such as window opening control devices, can be installed on windows in order to lessen the risk of accidental falls. If fall prevention devices are desired or required for a window, check with your distributor for options sold by MI.

<sup>1</sup> MI's Eastern Region is all states within The United States other than AK, AZ, CA, CO, HI, ID, MT, NM, NV, OR, UT, WA, and WY.

<sup>2</sup> Owner-Occupied Residential Dwelling includes any single-family detached home, townhome, or condominium unit used by the Owner as his/her primary residence.

<sup>3</sup> Skilled Labor is labor provided where the work to repair the Product requires special knowledge or skills not possessed by Owner or tools not available to Owner. Minor repairs, such as replacing a sash or lock, do not require Skilled Labor.

Accreditations

Don't just take our word for it.

We take great pride in delivering top-quality products and unbeatable service. The respect we earn from customers and experts alike has helped us become America's largest exterior remodeler. But don't just take our word for it — take theirs.





Window World of Tidewater Virginia

Customer List

Note :

9/3/2019 5:11 PM

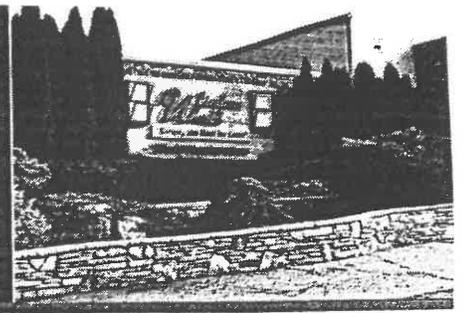
Address	Zip	
226 WINGATE DR	23185	7-13-2016
107 TARLETON BVOUAC	23185	12-6-2016
2901 S. RICHARD BUCK	23185	11-20-2016
1672 SKIFFES CREEK CIR	23185	7-7-16
102 TRAFALGAR COURT	23185	6-13-2016
313 SHEPPARD DRIVE	23185	5-5-2016
1835 FERRELL DRIVE	23185	9-25-2016
3012 E TIVERTON	23185	3-26-2016
205 JOHN PINCKNEY LN	23185	9-10-2016
103 CANHAM ROAD	23185	1-29-2016
223 ROBERTSON STREET	23185	7-25-2016
156 SECOND STREET	23185	2-3-2016

Ms Dimaino

The above address are for  
4000 Series windows and install dates  
are written next to address.

Thank you  
Karin Bailey  
Controller

# WINDOW WORLD



## WELCOME TO THE WINDOW WORLD FAMILY.

### Our Story.

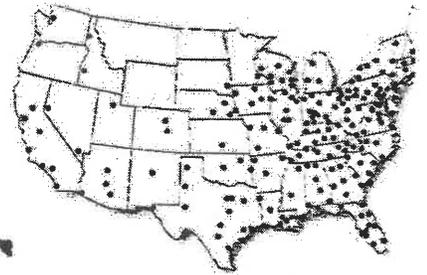
It all began in 1995 with the unique vision and energetic passion of one man with a dream – to develop a home improvement company with a moral compass like no other.

He would offer only the finest quality products with distinction and integrity – and do so at the lowest possible price. Quite simply, the best for less.

He set out to break the mold and change the remodeling industry. And did he ever.

Today, we are America's Largest Replacement Window and Exterior Remodeling Company. We are proud to offer beautiful, world-class products from industry-leading manufacturers' windows, siding and other professional-grade exterior building products. Our manufacturer partners demonstrate a proven record for superior craftsmanship, enduring quality, and genuine value. Our combined professionalism and expertise are further assurance that Window World is an excellent selection for your home.

We also take pride in our companywide commitment to customer happiness. From start to finish, our knowledgeable and friendly teams provide you with the exceptional customer care and attention to detail you can expect from the Window World brand.



### Window World Named Number One Replacement Window and Exterior Remodeling Company.

Window World has been ranked number one replacement contractor nationwide in *Remodeling* magazine's "Remodeling 550" and the largest exterior remodeling company in *Qualified Remodeler's* "Exterior Top 200."

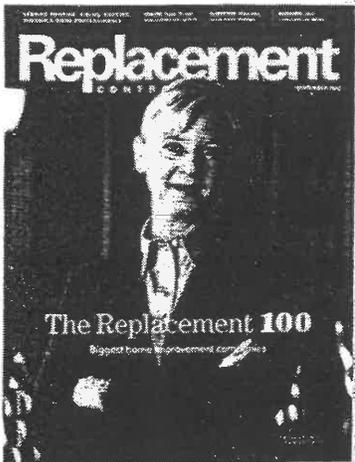
### Our Promise.

We do our best on every job, every day, because at Window World we trust that a great job today will bring referrals from family, friends, and neighbors tomorrow.

Our promise to you is straightforward: Superior Products, Professionally Installed, at a Guaranteed Low Price – *Simply the Best for Less.*®  
Welcome to Window World.



Tammv Whitworth



Window World Tops National Remodeling Rankings.

# 1007 LAFAYETTE ST

**Location** 1007 LAFAYETTE ST

**Mblu** 434/ 01/ 07/ 017/ 18

**Parcel #** 434-01-07-017,18

**Owner** 1007 LAFAYETTE LLC

**Business Name**

**Taxable Status** Non-Exempt

**Subdivision** Williamsburg West

**NBHD** West Williamsburg

**Parcel Usage** Single-Family (Rental)

**Assessment** \$325,600

**PID** 1098

**Building Count** 1

**Legal Description** WEST WILLIAMSBURG BLOCK 7 LOT 17,18

**ARB District** AP-3 

**Grade School** MWES

**Middle School** BMS

**High School** LHS

**Sign District** RES

**Voting Precinct** SKR

**Zoning** RS-3

**Flood Plain** 0

**Flood Map** 510294-005-B

**Total Acres** 0.129

**Street/Road**

## Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$170,600	\$155,000	\$325,600

## Parcel Addresses

Additional Addresses
No Additional Addresses available for this parcel



ARB # 19-105  
DATE FILED 9-9-19

**CITY OF WILLIAMSBURG  
APPLICATION FOR ARCHITECTURAL REVIEW**

Architectural Review Board  
401 Lafayette Street  
Williamsburg, VA 23185-3617  
(757) 220-6130  
Fax (757) 220-6130

261340

<b>Property Owner's Printed Name</b> <u>Rob &amp; Camille DiMaio</u>	<b>Representative's printed Name</b> _____
<b>Address</b> <u>4909 Settlers Market Blvd.</u>	<b>Address</b> <u>← OWNER</u>
<b>City/State/Zip</b> <u>Williamsburg, VA 23188</u>	<b>City/State/Zip</b> _____
<b>Phone/Fax No.</b> <u>210-488-1144</u>	<b>Phone/Fax No.</b> _____
<b>E-mail</b> <u>camilledimaio@gmail.com</u>	<b>E-mail</b> _____
<b>Property Owner's Signature</b> <u>Camille DiMaio</u>	
<b>Date</b> <u>9-4-19</u>	
<p>By signing this application, I give the applicant permission to represent me regarding this request. I also give City of Williamsburg employees and members of the Architectural Review Board the right to enter my property.</p>	

The signature of the property owner is required for the application to be processed. Any application submitted without the property owner's signature will not be processed and will be returned to the applicant.

**DESCRIPTION OF PROPOSAL** (please attach a separate sheet if necessary):

Please see attached documents supporting the replacement windows we installed. Show all docs and narrative to AEB members.

\*\*\*\*\*  
**Location of Proposal:** 1007 Lafayette Williamsburg, VA 23185

**ARB District:** AP-3 **Tax Map Number:** 434-01-07-017.18

**Business Name (if applicable):** N/A

**PLEASE NOTE THAT CONSIDERATION WILL NOT BE GIVEN TO INCOMPLETE APPLICATIONS.**

- \_\_\_\_\_ Elevations and drawings to scale (nine sets if larger than 8.5"x 11"). One set if 8.5"x 11".
- \_\_\_\_\_ Colored renderings for commercial projects are required.
- \_\_\_\_\_ Site plan or survey plat of property.

**A LIST OF ALL MATERIALS USED AND COLORS PROPOSED MUST BE SUBMITTED WITH THE APPLICATION.**

The following list must be completed for the application to be processed. Samples of colors not on the approved color palettes must be submitted when the application is submitted for review. Failure to submit specific materials and colors will result in the application not being processed and returned for completion. For any materials that do not apply to the specific application, please note N/A in the space.

**PROPOSED MATERIAL:**

**PROPOSED COLOR:**

Foundation: _____	_____
Walls: _____	_____
Roof: _____	_____
Doors: _____	_____
Windows: <u>vinyl</u>	<u>white</u>
Trim: _____	_____
Deck: _____	_____
Chimney: _____	_____
Gutters/Downspouts: _____	_____
Fence: _____	_____
Rails: _____	_____
Dumpster Screening: _____	_____
Driveway/Sidewalks: _____	_____

\*\*\*\*\*

Application was:  Approved       Approved with Conditions       Denied

Date of ARB Action: 9-24-19

Denied wood windows to vinyl windows because do not meet Design Review Guidelines. Approved the replacement of two aluminum windows on rear with vinyl windows.

Cassidy A. Murphy  
for Architectural Review Board

Approval by the Architectural Review Board of this application shall expire 12 months from the date of approval by the Board unless the approval is granted in conjunction with a site plan which extends the approval date until the expiration date of the site plan.









type of base of the sign. Director Murphy advised that the top of the sign has to sit on the base, or the sign would not be in compliance with the city ordinance. Mr. Kilgore stated that he would go with the brick base so as to comply with the ordinance. There was a discussion about the use of corporate colors on the sign. Director Murphy advised the Board that if logo colors are not acceptable to the Board, then, they may require the sign be externally illuminated, not internally illuminated. Mr. Edwards commented that there are other Exxon's in the area already using their corporate logo colors.

Chair Spence opened up for public comments.

There being no additional questions or comments from the Board or the audience, Mr. Edwards moved to approve SIGN#19-033 with a brick base and use of corporate colors. Mr. Kostro seconded the motion which carried unanimously.

**Recorded vote on the motion:**

Aye:	Gross, Edwards, Spence, Kostro, Koehler, Stevens
Nay:	None
Abstain:	None
Absent:	Stemann

**ARCHITECTURAL PRESERVATION DISTRICT**

**ARB#19-090: 1007 Lafayette LLC/1007 Lafayette Street – Exterior Change – Window Replacement from Wood to Vinyl – AP-3 - DENIED**

Camille and Robert DiMiao, homeowners, were present representing ARB#19-090. Mrs. DiMiao explained that they recently purchased the home, having moved from Texas, and were unaware that they had to appear before the Board for window replacement. Mrs. DiMiao commented that no person “along the way” explained this to them and that the windows were original and “crumbled to the touch” and some would not open, some were caulked shut, some had storm windows, and some were aluminum. Mrs. DiMiao commented that the home inspector advised that the windows would have to be replaced. The homeowners explained that their intent was to unify and beautify. Chair Spence asked how many windows were replaced. Mr. DiMiao answered “twenty”. Mr. Koehler asked how many of those were aluminum. Mr. DiMiao answered “two”. Mrs. DiMiao added that they replaced all of the windows for continuity. Mrs. DiMiao stated that they walked around and noted exterior vinyl on several homes and many did not have the divided light windows. Mrs. DiMiao commented that there did not appear to be any uniformity on her street. Chair Spence asked for guideline clarification for the district in question. Director Murphy advised the Design Review Guidelines recommend “wood for wood”. Mr. Gross asked the homeowners for the addresses of the houses that they themselves noted were not in guideline compliance. The homeowners advised the Board of those addresses. Mr. DiMiao commented that the windows not opening were a safety concern. Mr. Edwards added that the Board charge is to abide the ***Design Review Guidelines*** which requires wood for wood. There was a discussion on City Council appeal process and clarification that City Council uses the same standards as established for the Architectural Review Board. Director Murphy advised that some homes may not be in compliance with the current guidelines because changes were

made prior to the current guidelines being adopted. There was a discussion regarding how to inform new home owners of City requirements for preservation and the need to receive approval from the Architectural Review Board prior to making exterior changes.

Chair Spence opened up for public comments.

There being no additional questions or comments from the Board or the audience, Chair Spence moved to deny ARB#19-090 the after-the-fact replacement of wood windows with vinyl windows because the replacement windows do not meet the ***Design Review Guidelines*** which require wood for wood. Mr. Edwards seconded the motion which carried unanimously.

**Recorded vote on the motion:**

Aye:	Gross, Edwards, Spence, Kostro, Koehler, Stevens
Nay:	None
Abstain:	None
Absent:	Stemann

**ARB#19-091:           Hornsby/311 Indian Springs Road – Exterior Change – Window Replacement – AP-2 – APPROVED WITH CONDITIONS**

Bobby Hornsby was present representing his mother for ARB#19-091. Mr. Hornsby commented the room where the window would be replaced is not visible from the street and is hidden by a carport. He stated he would revise his request to a wood window and asked for flexibility in regards to the muntin requirement and would prefer no muntins. Mr. Hornsby presented the Board with photos of neighboring homes that do not have muntins. Mr. Edwards asked if the windows could be repaired. Mr. Hornsby said they are so aged that it is “unfeasible” to repair them and they currently are not operable. Mr. Hornsby commented that he has been repairing these windows for a long time. Mr. Stevens asked about the Board being able to approve something if it’s not seen from the road. Director Murphy advised the Board has purview it can’t be seen from the street, any exterior change requires approval from the Board if in a district. Chair Spence asked about using new casement windows of wood. Mr. Kostro commented that he did not see anything in the guidelines regarding the requirement of muntins. Chair Spence asked for clarification on the specifications of the windows. Mr. Hornsby stated that the windows would be wood, pre-primed white, double paned, and operable without muntins.

Chair Spence opened up for public comments.

There being no additional questions or comments from the Board or the audience, Chair Spence moved to approve ARB#19-091 with the use of all wood casement windows minus the use of muntins. Mr. Gross seconded the motion which carried unanimously.

In April 2019, we purchased 1007 Lafayette in the City of Williamsburg, and as previously testified to the Architectural Review Board, we installed high-quality replacement vinyl windows in place of the deteriorating and unsafe wood windows that were in its place. We had no idea that the house was in an architectural zone, nor did anyone along the way inform us of that – the inspector, contractor, title company, owner, etc. When we received a letter from the city saying that we were in violation of the ARB code, it was a total surprise to us.

We attended the ARB meeting on August 27 and were told that our windows were declined since we should have replaced “wood with wood”. We were disappointed, of course, as re-installing windows will cost an addition \$25,000, but understood that the ARB’s hands were tied.

However, this prompted us to learn more about what the design codes actually say and we believe that we have met every mark of a provision that allows for vinyl replacement.

We have since learned that 1007 Lafayette is in AP-3, and submit the following information from the Design Review Guidelines, chapter 5, page 40, which deals with “New Buildings and Additions in AP-3.” NOTE: Our home, of course, is not a new building or addition, but on page 50 of the same document under “Existing buildings”, the wording reaffirms what is stated on page 40. Text to follow:

Page 40: “High quality synthetic windows may be approved on a case-by-case basis. Applicants must provide the AAMA/WDMA/CAS101/I.S.2/A440-11 certification reference, manufacturer’s warranty (minimum 15-year), local examples of existing installation with a duration of at least 5 years, and how long the manufacturer has been in business (recommended length of business is at least as long as the warranty period.)

Page 50 (Existing buildings) refers back to this paragraph: “Other window types may be **replaced** with windows that are allowed in AP-3 for new buildings or additions on a case-by-case basis.”

We have done extensive research to make sure that our windows **do** meet the guidelines referenced here and are submitting documentation as such:

1. **AAMA/WDMA/CAS101/I.S.2/A440-11 certification.** Please see the photo of the certification sticker from one of the windows. You will see that the last two numbers are different – our certification shows -08 instead of -11. We learned that this is based, respectively, on the 2008 testing report and the 2011 testing report. We contacted AAMA (American Architectural Manufacturers Association) and they provided documents that show that the expectations for the 2008 report and the 2011 report are nearly identical (see wording in almost every category of -11 that says “Same as -08” and that the differences refer to “secondary storm products”, “tubular daylighting

devices”, and “skylights”. I spoke with Richard Rinka of AAMA (Technical manager) and he said that our windows did not get tested for the 2011 ratings because it is cost prohibitive for a manufacturer to do so and since the rating requirements had not changed for them, there was no need to certify them for -11. He told me that you are welcome to reach out to him if you would like for him to confirm this. 414-614-1535.

So, with this information, we believe that we meet this standard outlined by the ARB.

- 2. Manufacturer’s warranty (minimum of 15 years).** Our windows, installed by Window World, come with a “Limited Lifetime Product Warranty”. For residential, it is lifetime for mainframe and 20 years for IGU & components. We have provided this documentation. This exceeds the guideline laid out by the ARB. (Note that we also included information that shows that Window World has the following accolades: Good Housekeeping Seal of Approval, JD Power, Lead-Safe Certified Firm, Energy Star, AAMA Gold Label (highest possible), ASTM Internaton Standards, and National Fenestration Rating Council.)

Based on this documentation, we believe that we have met and exceeded the standard outlined by the ARB.

- 3. Local examples of existing installation with a duration of at least 5 years.** Window World provided us with twelve examples of homes in 23185 that had these exact 4000 series windows installed. (See attached) The dates are all in 2016 and we understand that to meet this ARB standard, you would be looking at 2014 or earlier. However, Window World said that they changed their record-keeping system in 2016 and that anything previously installed is archived. As they are not archived by city, they stated that it would be time-prohibitive to look up that exact information, but estimated the number of homes in the area in which these were installed to be in the “hundreds”. To confirm this, please feel free to call Karen Bailey at Window World at 757-518-8766.

Based on what we are providing here, we believe that we have met the standard outlined by the ARB.

- 4. How long the manufacturer has been in business (recommended length of business is at least as long as the warranty period.)** Window World has been in business since 1995 (see attached).

Based on what we are providing, we believe that we have met and exceeded the standard outlined by the ARB.

**5. "High-quality synthetic windows may be approved on a case-by-case basis."**

Per the Window World salesman, Lawrence Craft, our windows are "virgin vinyl". According to [www.expert123.com](http://www.expert123.com), "Virgin vinyl is the term applied to vinyl that is extruded for the first time. Regrind is the term given to vinyl that has been extruded, then the parts are ground up into small "pellets" and can be re-extruded. The implication is that 'virgin vinyl' is purer or superior to reground vinyl." In addition, these windows are certified by AAMA with the gold seal, which is their highest grade rating.

Based on this information, we believe that we have met the standard outlined by the ARB.

As you can see, we believe that we have a significant case to receive approval for these windows. Of course, we understand that any future work on the exterior of the house will need to go through the ARB, but as it was brought up in the August 27 meeting, even the ARB felt that the city has not adequately informed consumers and residents that a board or guidelines even exist. It is not apparent to one moving from outside the state that a city established in 1699 would consider a home in 1951 "historic". We recommend that in the future, as also recommended by the ARB, that the city create a form that title companies require buyers to sign at closing, establish better communication with Realtors, more apparent information on the website (I had to click through nine links to even find the guidelines), and a letter to go out upon receiving word that there has been a deed transfer. These measures would go a long way to eliminate this kind of situation, which saves the resident, the board, and the city time and money.

We appreciate the understanding that we received at the August 27 meeting and under the "wood for wood" standard verbally mentioned, the ARB's hands were tied. However, in digging deeper into the actual wording, we believe that the ARB can now, in good conscience, approve these windows. We are asking for your consideration based on the following:

- These are arguably the nicest windows now on Lafayette, and as many homes on the street have old vinyl windows, this meets and exceeds the visual standard on the street.
- The previous windows were wood and although they were unsightly and unsafe, it is not logical to us that we could have kept those and somehow been within guidelines, but newer, safer, better windows would not.
- And on the personal side, we are a Marine Corps family. My husband has served this country and we have sacrificed for him to do so. More than we can even say. Our intention in moving to Williamsburg was to move away from a city that was riddled with sex-trafficking (San Antonio) and high incidents of roadway deaths to be in a smaller, safer town with our four children. We have immediately jumped into the community, volunteering at

church, participating in community activities, and our 14 year old daughter is even a costumed Junior Interpreter at Colonial Williamsburg (brickyard). Our 10 year old son hopes to do the same in two years when he is old enough. We love our new town and want to continue to be contributing, vibrant citizens. It is our hope that our city will take into consideration all of the above and will spare our family from an exorbitant and crippling expense when we have proven that we meet the guidelines.

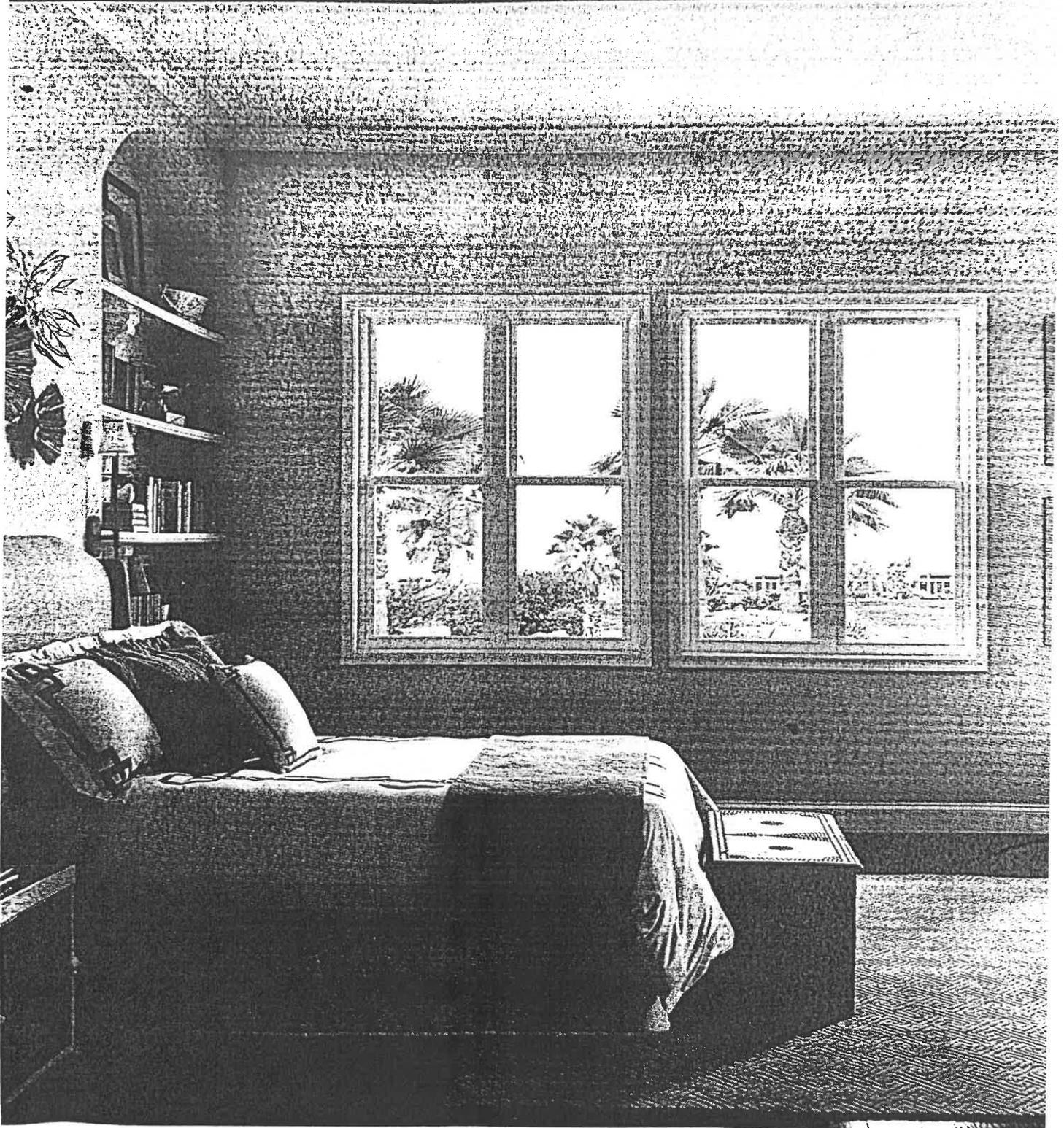
Thank you very much,

Rob and Camille Di Maio

ELEGANCE & ENERGY EFFICIENCY

# WINDOW WORLD<sup>®</sup>

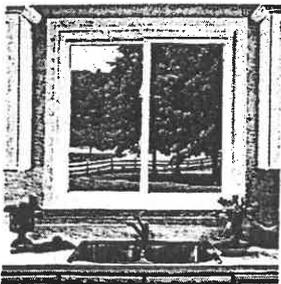
4000 Series Vinyl Replacement Windows



# 4000 SERIES WINDOWS

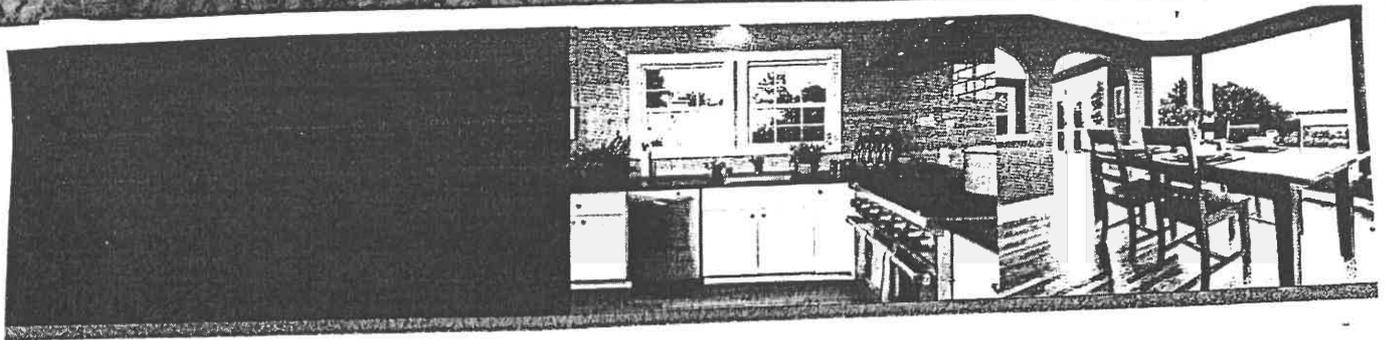


*Showcase your home with our 4000 Series Vinyl Windows. With top energy efficiency, exceptional strength, and beautifully clean, sleek lines, they'll provide you everything you're looking for, and more. Our promise to you, "Simply the Best for Less."®*



Horizontal sliding windows offer a high, uninterrupted viewing area.

Energy-efficient options and a variety of stylish design choices offer numerous opportunities to customize our 4000 Series Replacement Windows to suit your needs. Choose to upgrade with our SolarZone™ glass packages to help improve thermal performance and ensure energy cost savings. A variety of operational configurations gives you the ability to select the window style that will make the most of your home. Choose from our white or almond color offerings with options to add an interior woodgrain laminate, rich-hued exterior color, plus multiple distinctive grid patterns, and you can beautifully achieve your design aspirations. After Window World's expert installation, you'll rest assured knowing you've chosen the best quality windows available.



### Best-in-Class Features:

- 1 Welded, heavy-duty vinyl construction provides superior strength and durability while multiple hollow chambers in the mainframe create sealed air spaces for an effective insulating barrier.
- 2 Optional high-density foam throughout the mainframe offers superior thermal performance.
- 3 The beveled exterior edge adds style and curb appeal to an already sleek design.
- 4 Dual- and triple-pane insulating glass creates a sealed air space between the panes that is enhanced by our Duralite® warm-edge spacer system.
- 5 Metal reinforcements at the meeting rail add further stability.
- 6 Recessed, opposing cam locks secure your window without interrupting sight lines.
- 7 Heavy-duty weatherstripping and interlocking sashes help to keep weather and wind outside.
- 8 An easily removable latching half screen gives you the freedom to let air in while keeping pests out. Featuring Clarity® mesh, the screen allows you to focus on what's important: the view.
- 9 Recessed tilt latches can be released to tilt both top and bottom sashes into the home for easy cleaning.
- 10 Detent clip keeps the top sash from drifting while an inverted-coil balance system ensures both sashes will stay where you put them, no matter the position.
- 11 Balance channel covers help achieve a polished look.
- 12 Push-button vent latches allow for overnight ventilation while giving you added peace of mind.
- 13 Welded combination sill featuring a deflection leg enhances rigidity and a five-degree sloped sill directs water away from the home and eliminates unsightly weep holes.
- 14 Full-length, integrated ergonomic lift rails provide convenient, easy operation. Bevel on bottom rail makes gripping easy.
- 15 Series consists of double-hung, double sliding, casement, awning, basement, bay and bow, picture, and architectural shape windows.

### Sliding Window Features:

- Heavy-duty tandem rollers ensure easy, consistent operation.
- Two- or three-panel configurations are available.

### Energy-Saving Glass Packages:

Our SolarZone™ insulated glass packages help you save on heating and cooling costs while also keeping your home more comfortable. In warm weather, SolarZone reduces solar heat gain, minimizes interior glare, and lowers inside glass temperature to save energy and keep you cool. In cold weather, SolarZone helps to control the heat inside your home by providing thermal protection that keeps the inside glass panel warmer.

Thermal Performance Comparison <sup>1</sup>

	Double-Hung		Sliding	
	U-Factor	SHGC	U-Factor	SHGC
Clear Glass	0.44	0.57	0.44	0.57
SolarZone	0.27	0.28	0.27	0.27
SolarZone w/ Foam	0.27	0.28	n/a	n/a
SolarZone Elite	0.27	0.21	0.27	0.20
SolarZone Elite w/ Foam	0.26	0.21	n/a	n/a
SolarZone TG	0.22	0.25	0.21	0.23

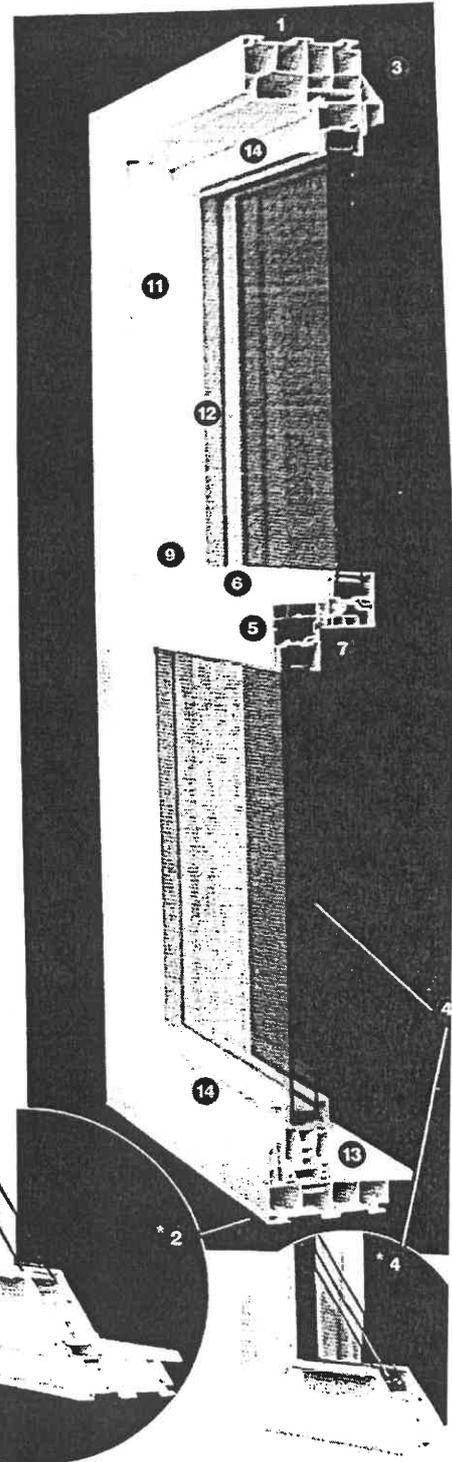
Clear Glass:

SolarZone:

SolarZone Elite:

Foam Enhancement:

SolarZone TG:

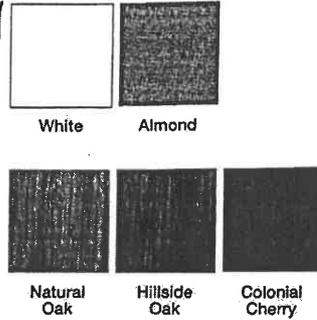


# WINDOW ACCENTS

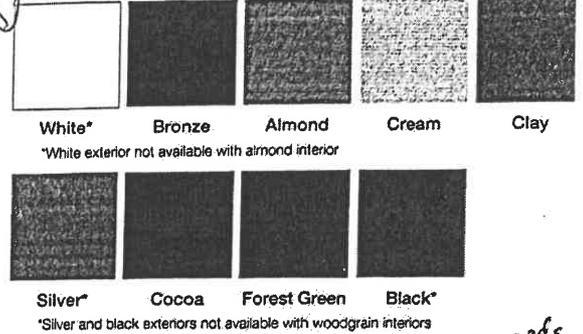
## Color Options:

Window World offers a wide variety of color options to complement the interior or exterior style of your home. Classic extruded vinyl colors are enhanced by expertly applied interior woodgrains and rich-hued exterior finishes. The high-performance coatings provide low-maintenance, durable color while combining the look of wood-crafted windows with the energy efficiency of vinyl.

### Interior Palette



### Exterior Palette



## Grid Options:

From simulated divided lite grids, which convey a historical look, to grids-between-the-glass, which allow for easy cleaning, Window World's variety of grid options has something for everyone. Grids are available in numerous colors, sizes and patterns to help achieve your desired aesthetic.

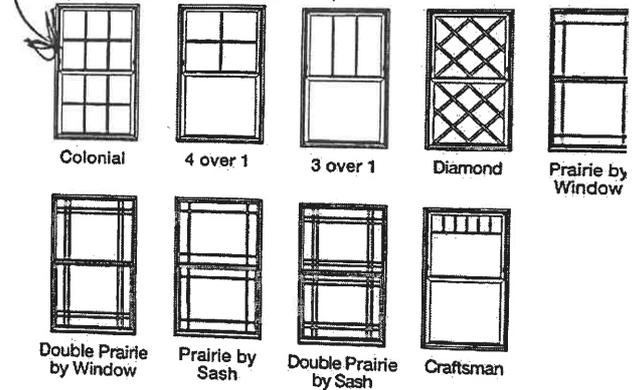
### Simulated Divided Lite



### Grids-Between-the-Glass



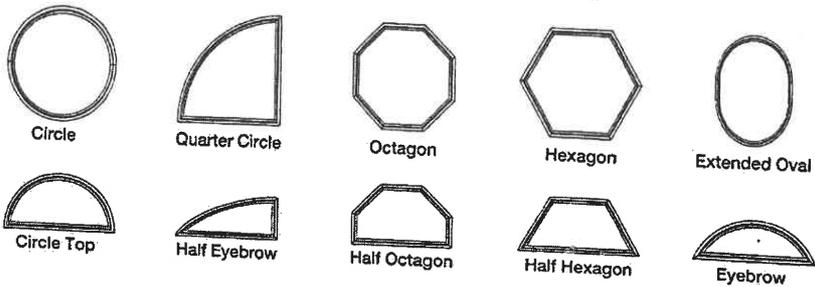
### Standard Grid Patterns



*\*Window World still needs to install a few grids, but most are in place.*

## Architectural Shapes:

Many standard and custom window shapes are available to fit a wide range of spaces.



# Window World

118 Shaver Street  
North Wilkesboro, NC 28659  
1-800 NEXT WINDOW | 1-800-639-8946  
www.WindowWorld.com

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GOLD



CERTIFIED

MI Windows SERIES: 4000

CODE HTL-2

Perf Grade R-PG40*	+ DP (ASD) 50.1	- DP (ASD) 55.1	Water 6.06	Max Test Size 36.00 X 60.00	CPD 8624 PI#029-216
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This product tested in accordance with  
AAMA/AMA/CSA 101/I.S. 2/A440-08 and NFRC 100

MFG: 5/2019

ORD: 261111073.3

DO NOT REMOVE



## Standards Progression - Windows, Doors & Unit S

Category/Topic	AAMA/NWDA 101/I.S.2-97 (Windows and Glass Doors) AAMA/WDMA 1600/I.S.7-2000 (Skylights) [Separate ANSI Standards]	AAMA/WDMA 101/I.S.2/NAFS-02 (Windows, Glass Doors & Skylights) [Combined ANSI Standard]	AAMA/WDMA/CSA 101/I.S.2/A440-05 (Windows, Doors & Skylights) [CSA format]
<b>General and Window Topics</b>			
Format	Primarily by operator type	Similar to '97	Reorganized per CSA format
Basis of Rating	IP Only	IP Primary (Metric Optional)	Same as '02
Compliance Measurement Units	IP Primary (Metric Secondary)	Metric Primary (IP Secondary)	Same as '02
# of Product Operator Types	20	26	30
Operator Type Codes	H, HS, VS, AP, C, VP, HP, SHW, TH, F, DA, BW, HE, GH, J, JA, TA, HGD, DA-HGD, SGD	Added SHW, SLT, SP	Added ATD, SHD and SD; changed DA to DAW, F to FW and FD
# of Performance Classifications	Five: (R, LC, C, HC, AW)	Same as '97	Same as '02
Performance Grade Caps	No upper limit on Grade (Design Pressure)	Upper limit of 60 psf above Gateway except AW	Same as '02
Alternative Minimum Test Sizes and minimum PG for Class R Products	Not included		
US Operating Force	Force to maintain motion ONLY	Force to initiate and maintain motion	Force to maintain motion but test and record force to initiate
Canadian Operating Force	Not included		Optional
US Air Leakage	0.3 and 0.1 cfm/ft <sup>2</sup>	0.3 cfm/ft <sup>2</sup> ONLY	0.3 and 0.1 cfm/ft <sup>2</sup>
Canadian Air Leakage	Not included	Optional levels	Same as '02
Frame/Sash Deflection Limits	AW and HC Hung ONLY	AW and HC ONLY	Same as '02
Glass Deflection Limits	Exception Noted	Exception Noted	Same as '02
Frame/Sash Permanent Deformation	0.4% (0.2% for AW)	0.4% (0.2% for AW)	0.4% for R & LC, 0.3% for C & HC, 0.2% for AW
Forced Entry Resistance Standard	ASTM, CMBSO, or AAMA	ASTM, CMBSO, or AAMA	ASTM ONLY
Glass Strength Standard - basis of glass selection	ASTM E 1300-94 - use weakest glass for testing	ASTM E 1300-00 - use weakest & thinnest glass for testing	ASTM E 1300-02 - use weakest glass for testing
Plastic Glazing Requirements	[From 1600/I.S. 7] Light, Haze, Brittleness, Smoke, Ignition, Combustibility, Safety glazing, Effect of Weathering	Reference AAMA/WDMA 1600/I.S. 7	Incorporated provisions of AAMA/WDMA 1600/I.S. 7
Secondary Storm Products	Not included		
Materials Referenced	aluminum, wood and vinyl	Added cellular PVC, fiberglass, steel, fiber-reinforced PVC, and ABS	Added flush and molded wood fiber doors, and cellulosic composite materials
Lead content	Not included		0.02% max for finished framing & cladding per ASTM E1753 (not included for hardware)
Wood requirements	Max. 12% moisture content. Suitable for opaque finish. Adhesives compliant with D5572, D5751 and D3110. Treated per I.S.4	Same as '97, but removed D3110	Same as '02, but added formula for determining moisture content. Also added requirement for treat formulations to have a Health Canada registration no.
Mullion Definitions and Illustrations	Definition Only	Examples & Illustrations	Expanded Explanation
Primary Designator Example	C-R25 30 x 60	C-R25 760 x 1520 (30 x 60)	C-R25 760 x 1520 (30 x 60)
Secondary Designator (optional)	Not included		Added

## Skylights

AAMA/WDMA/CSA 101/1.S.2/A440-08 (Windows, Doors & Skylights) [CSA format]	AAMA/WDMA/CSA 101/1.S.2/A440-11 (Windows, Doors & Skylights) [CSA format]
Same as '05	Organized by product type, performance class, materials and components
Same as '05	Same as '08
Same as '05	Same as '08
31	36
Same as '05	Added POW, SSP (-CSD, -KSD, -SGE, -SGI, -FEW, -FWI, -HWE, -HWI, -VWE, -VWI); Changed ATD to ATW, GH to GW.
Four: (R, LC, CW, AW.) [Requirements for CW same as C in '05 and must meet L/175]	Same as '08
Upper limit of PG 100 for R, LC, CW. No limit for AW.	Same as '08
Added	Same as '08
CW: Same as Class C in '05. Class R Hung increased from 30 to 35 lb. Class LC Hung increased from 35 to 40 lb.	Same as '08
Optional, but now based on "Normal Use" and "Cleaning & Maintenance" categories	Same as '08
CW: Same as Class C in '05.	Same as '08
Optional. CW: Same as Class C in '05.	Same as '08
CW and AW only	Same as '08
Same as '05	Same as '08
0.4% for R & LC, 0.3% for CW, 0.2% for AW	Same as '08
Same as '05	Same as '08
ASTM E 1300-04 - use weakest glass for testing	ASTM E 1300-09a- use weakest glass for testing
Same as '05	Same as '08
	Added SSP (-CSD, -KSD, -SGE, -SGI, -FEW, -FWI, -HWE, -HWI, -VWE, -VWI)
Same as '05	Same as '08
Same as '05, but expanded the explanation and added ASTM E1613 as a confirmation test if E1753 test is positive.	Updated testing for framing / cladding to parallel US EPA field testing criteria, and expanded the criteria for testing for lead in hardware
Same as '05, but added D4442 for determining moisture content, and removed references to "suitable for an opaque finish" and "suitable for structural performance".	Same as '08, but removed reference to D4442.
Same as '05	New ratings and designations
Class R-PG25: Size tested 760 x 1520 mm (30 x 60 in)-Casement	Class R-PG25: Size tested 760 x 1520 mm (30 x 60 in)-Casement
Positive DP allowed to be higher than negative DP or PG.	Same as '08

Secondary Designator Example	Not included		Design Pressure = 2880 Pa (60 psf) Water Penetration Resistance Test Pressure = 580 Pa (12 psf) Canadian Air Infiltration/Exfiltration Level = A3
Definition of "DP" and "PG"	DP = design pressure rating based on lowest air/water/structural performance	Same as '97	Same as '02
Use of Residential, Light Commercial, Commercial, Heavy Commercial and Architectural names in Ratings	Included		
Specimen Structural Damage	No glass breakage, permanent damage to fasteners, hardware parts, support arms or actuating mechanisms	Added disengagements	Limits retests due to glass breakage or hardware to two
Deglazing Sash Movement	≤ 100%	≤ 90%	Same as '02
Laboratory Test Report	Per ASTM standards	Added laboratory test report requirements	Added drawings required by ASTM and additional ratings supplied by mfr.
Tempered Glass	Can be used for testing if it was the weakest, thinnest glass per ASTM E 1300 to qualify other glass types in production.	Can be used for testing if it was the weakest, thinnest glass per ASTM E 1300 to qualify other glass types in production.	Can be used for testing if it is the weakest per ASTM E 1300 and meets the L/175 requirement for edge deflection, to qualify other glass types in production.
Water Penetration Resistance Pressure Cap	12 psf	15 psf	12 psf (US); 15 psf (CAN)
Transoms	Not included	Maximum height is 700 mm	Maximum height is 800 mm

**Topics specific to Doors**

Side-Hinged Exterior Doors	Not included	Added SHD
Architectural Terrace Doors		Added ATD
US Operating Force for SHD		Force to maintain motion but test and record force to initiate
US Air Leakage for SHD		Same as for windows
Canadian Air Leakage for SHD		Same as for windows
Force to Latch Requirement for SHD		Added
Sidelites		Added & Expanded
Side-Hinged Exterior Door Systems Operation/Cycling		R (25,000), LC (100,000), C (250,000), HC, except ATD (500,000), HC ATD (25,000), AW, except ATD (1,000,000), AW ATD (25,000)
Limited Water Rating for SHD		Added
Cycle/Operating Testing for SHD		Added
Hardware Water Testing for SHD		Added
Vertical Load Testing for SHD		Per AAMA 925-03
FER Testing for Swinging Doors		Added

**Topics specific to Skylights, etc.**

# of Product Operator Types	Two (with 4 sub-types)	Three (removed sub-types)	Same as '02
Operator Type Codes	SKG, SKP (1,2,3,4)	Added RW	Same as '02
Performance Classes	Three (R, C, HC)	Same as '00	Same as '02
Performance Grade Caps	No upper limit on Grade (Design Pressure)	R-135; C-150; HC-none	No limit
Performance Grade Defined by:	Positive design pressure only	Same as '00	Same as '02
Frame/Sash Permanent Set	0.4% of span	Same as '00	Same as '02
Materials Referenced	Aluminum, Wood, Vinyl, Fiberglass, Steel	Added 3 additional materials	Added additional materials
Tubular Daylighting Devices	Not included		

DP = 2880 Pa (60 psf) Water Penetration Resistance Test Pressure = 580 Pa (12 psf) Canadian Air Infiltration/Exfiltration Level = A3	Same as '08
PG = Performance Grade based on lowest air/water/structural performance; DP = design pressure	Same as '08
Deleted	
Same as '05	Same as '08
Same as '05	Same as '08
Removed drawings required by ASTM and additional ratings language	Same as '08
Same as '05	Same as '08
Same as '05	Same as '08
Same as '05	Same as '08
Same as '05	Same as '08
Same as '05	Same as '08
Same as '05	Same as '08
Same as '05	Same as '08
Same as '05	Same as '08
CW: Same as Class C in '05. Measure and record force / torque to operate dead-bolt for SHD.	Same as '08
Same as for windows	Same as for windows
Same as for windows	Same as for windows
Same as '05	Same as '08
Same as '05	Changed operator designations
R (25,000), LC (100,000), CW (250,000), AW, except ATD (500,000), AW ATD (25,000)	Same as '08
Same as '05	Same as '08
Same as '05, but added measurement of dead-bolt op. force.	Same as '08
Same as '05	Same as '08
Per AAMA 925-07 (removed pass/fail criteria)	Same as '08
Same as '05	Same as '08
Four	Seven
Added TDD	Added RWG, RWP; changed TDD to TDDCC and TDDOC; dropped TDD
Two (R and CW)	One (PG)
Same as '05	Same as '08
Same as '05	Same as '08
Same as '05	Same as '08
Same as '05	Same as '08
Added TDD	Changed to two operator designations, and revised testing for closed ceiling and open ceiling types

Primary Designator Example	SKP-C30 48 x 48	SKP-C30 50 1200 x 1200 (48 x 48)	SKP-C30 1200 x 1200 (48 x 48)
Secondary Designator Example	Not Included		Design Pressure (Download = 4800 Pa (100.0 psf); Negative Design Pressure (Uplift) = 1680 Pa (35.0 psf); Water Penetration Resistance Test Pressure = 290 Pa (6.0 psf)
Skylight Testing Orientation	Lowest slope allowed	Same as '00	Vertical or Sloped
Skylights Structural Test Load - Glass	1.4 to 1.5 times DP	Same as '00	2.0 times DP, Pos and Neg
Skylights Structural Test Load - Plastic	1.4 to 3.0 times DP	Same as '00	2.0 times DP, Pos and Neg
Skylights Structural Test Duration	Negative pressure 10 seconds; Positive Pressure 60 seconds	Same as '00	Negative and positive pressure 60 seconds
<b>Reference Standards:</b>	<b>Title</b>		
AAMA/NWDA 101/I.S.2-97	Voluntary Specifications for Aluminum, Vinyl (PVC) and Wood Windows and Glass Doors		
AAMA/WDMA 1600/I.S.7-2000	Voluntary Specification for SKYLIGHTS		
AAMA/WDMA 101/I.S.2/NAFS-02	North American Fenestration Standard - Voluntary Performance Specification for Windows, Skylights and Glass Doors		
AAMA/CSAWDMA 101/I.S.2/A440-05	Standard / Specification for windows, doors and unit skylights		
AAMA/CSAWDMA 101/I.S.2/A440-08	NAFS, North American Fenestration Standard / Specification for windows, doors, and skylights.		
AAMA/CSAWDMA 101/I.S.2/A440-11	NAFS, North American Fenestration Standard / Specification for windows, doors, and skylights.		

Class CW-PG30: Size tested 1200 x 1200 mm (48 x 48 in)-SKG	SKG-PG30: Size tested 1200 x 1200 mm (48 x 48 in)
Positive Design Pressure (DP) = 2880 Pa (60.0 psf) or DP = 2880 Pa (60.0 psf) or 2880 Pa (metric) or 60.0 psf (imperial); Negative Design Pressure (DP) = -2880 Pa (-60.0 psf) or DP = -2880 Pa (-60.0 psf) or -2880 Pa (metric) or -60.0 psf (imperial); ; Water Penetration Resistance Test Pressure = 580 Pa (12.0 psf)	Positive Design Pressure (DP) (Downward) = 4800 Pa (~100.3 psf); Negative Design Pressure (DP) (Uplift) = -1680 Pa (~-35.1 psf); Water Penetration Resistance Test Pressure = 290 Pa (~6.1 psf)
Same as '05	Same as '08
Same as '05	2.0 times DP, Pos and 1.5 times DP Neg; not required to apply a structural test load more than 100 psf higher than rated PG.
Same as '05	Same as '08
Same as '05	Same as '08
doors	



## LIMITED LIFETIME PRODUCT WARRANTY EASTERN REGION | REPLACEMENT PRODUCT

**RESIDENTIAL: LIFETIME FOR MAINFRAME 20 YEARS FOR IGU & COMPONENTS**

**COMMERCIAL: 10 YEARS FOR MAINFRAME, IGU & COMPONENTS  
ALL: 2 YEARS SKILLED LABOR & SHIPPING | TRANSFERABLE**

Congratulations! As a consumer purchaser of window and doors manufactured by MI Windows and Doors, LLC ("MI") you have our assurance that MI will respond to your notice of product issues as described below. This applies to MI products installed as replacement products.

**Coverage.** This Warranty covers windows and doors ("Product") manufactured by MI as replacement product in its Eastern Region<sup>1</sup> after July 15, 2016. It attaches to the Product at the time of sale by MI and is provided to the initial purchaser of the Product. The Warranty transfers to all subsequent Product owners, and the selling owner should provide this document to a buyer before or at the time of sale.

Upon proper notice of a claim by the Product owner ("Owner") received during the warranty period and per the terms stated herein ("Claim"), MI will provide replacement parts ("Parts") to correct a nonconformity in material or workmanship causing a significant impairment in usage of the Product or an obstruction of vision through the insulated glass unit ("IGU") (collectively "Nonconformity").

**Residential Dwelling.** MI will provide Parts to correct a Nonconformity for a Claim made by an Owner of an Owner-Occupied Residential Dwelling<sup>2</sup> as follows: **Mainframe:** at no charge for a Claim made during the lifetime of the Product. **IGU & components:** at no charge for a Claim made within 20 years of the date of manufacture ("Manufacture Date").

**Commercial Application.** MI will provide Parts at no charge to correct a Nonconformity in the mainframe, IGU or components for a Claim made within 10 years of the Manufacture Date by an Owner of a structure other than an Owner-Occupied Residential Dwelling.

**Labor & Shipping.** MI will provide Skilled Labor<sup>2</sup> necessary to repair the Product and pay shipping costs for two (2) years from the Manufacture Date. Owner is responsible for the cost of all non-skilled labor, and for any labor or shipping costs for a Claim received more than two (2) years after the Manufacture Date. A fee will be charged for inspections requested more than two (2) years after Manufacture Date.

MI shall not be responsible for the cost of labor or materials required for repairing or restoring any material or surfaces beyond the Product. MI is not responsible for any labor when a complete replacement unit is provided. Owner must provide access to the interior and exterior of the Product, and provide any scaffolding or lift equipment necessary to reach Product not accessible with a 15' extension ladder. Where safe and practical access is not available, MI shall be required to provide only the Parts and will not be responsible for labor. If Owner fails to appear for a scheduled appointment, MI may leave the Parts and/or charge a separate fee to return and complete the service.

**Modified Coverages.** Laminated and painted frames: 10 years for peeling, blistering, or excessive ultraviolet discoloration. Blinds between the glass and integral shades: 10 years for obstruction of vision and one (1) year for significant impairment in usage. Simulated divided light: 10 years for Nonconformity. Laminated and Impact IGUs: Five (5) years for Nonconformity. Insect screens: Two (2) years for Nonconformity. Hardware in coastal applications: Two (2) years for corrosion.

**Warranty Claim Process.** Submit claims to: MI Customer Care, P.O. Box 370, Gratz, PA 17030 | W: [www.miwindows.com](http://www.miwindows.com) | E: [CustomerCare@miwd.com](mailto:CustomerCare@miwd.com) | P: (717) 365-2500 | F: (717) 365-3780. MI shall have no obligation under this Warranty without prior notice as provided herein. Owner must submit a claim during the coverage period and within 30 days of discovering the perceived Nonconformity. Notice must include contact information, order number, and description of the issue. Photographs are required unless unobtainable. MI shall investigate and respond in a timely manner per the terms of this Warranty, including inspecting the Product at its option. Parts may not be an aesthetic match to the original. MI reserves the right to discontinue or modify its products. When that occurs, MI shall substitute parts or product of equal value or quality. MI may elect to provide a complete replacement unit or refund the price of the affected Product in full satisfaction of its obligations.

**Disclaimers & Limitation of Remedies.** MI makes no warranty for Product sold as replacement product in its Eastern Region beyond that contained in this writing. ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, INCLUDING ANY WARRANTY WITH RESPECT TO MERCHANTABILITY, FITNESS FOR A PARTICULAR PURPOSE, OR ARISING FROM THE COURSE OF PERFORMANCE, COURSE OF DEALING, OR USAGE OF TRADE ARE DISCLAIMED. If disclaimer of implied warranties is prohibited by law, they are limited to the applicable duration in this Warranty. The remedies herein shall be the buyer's exclusive remedy regardless of MI's negligence. MI SHALL NOT BE LIABLE FOR CONSEQUENTIAL OR INCIDENTAL DAMAGES, PERSONAL INJURY, LOST PROFITS, LOSS OF USE, DIMINUTION IN VALUE, OR PUNITIVE DAMAGES. In no event shall MI's liability exceed the price of the covered Product. Some states do not allow limitations on how long an

Effective Date: July 15, 2016

Page 1 of 2  
MI-WWI-086 05/18

implied warranty lasts, or exclusions of incidental and consequential damages, so the related limitations or exclusions may not apply to you. This Warranty gives you specific legal rights, and you may also have other rights which vary from state to state.

Any liability of MI is contingent upon Owner (past or present) fulfilling its notice obligations as stated herein. Owner shall have no standing to assert any legal claim without first submitting a Notice of Legal Claim form ([www.miwindows.com/LegalClaim](http://www.miwindows.com/LegalClaim)) and waiting the requisite 45 days. This Warranty may only be modified by a writing signed by an officer of MI. Any act or omission of MI does not create a new warranty or extend the term of this Warranty. MI makes no representation regarding the useful life of MI Product.

**Excluded Conditions.** This Warranty does not cover, and MI has no obligation to respond to, a Nonconformity caused in whole or part by:

- An application, configuration, or installation exceeding the capacity of the Product design or in violation of applicable codes, plans, and specifications; mishandling of Product; failure to properly incorporate Product into the building envelope; installation in inappropriate openings or not in conformance with MI installation instructions, AAMA or ASTM installation standards, or good building practices.
- Normal wear and tear, aging, weathering, or corrosion; lack of product maintenance, misuse, or abuse; interior moisture or condensation. Normal weathering includes the gradual fading, chalking, or darkening of any colored surface.
- Glass breakage; glass blemishes, scratches, or other imperfections allowable for standard B grade glass under applicable ASTM standards; or reflection of solar energy (sunlight) off of the Product.
- Alterations or modifications of the Product or components, such as field mulls, reinstallation, application of tints or films, caulk, or paint finishes; installation of security systems or window coverings; or sources of undue stress, pressure, water, heat, or cold.
- Power washing or the use of harsh chemicals such as brick wash, acids, salts, abrasive cleaners, or solvents; Acts of God, or any other condition or cause beyond MI's control.

This Warranty covers only Product confirmed to have a Nonconformity. Where product testing occurs, Owner must give MI prior notice and opportunity to observe, and identify anticipated test methods. Without its prior agreement, MI shall not be required to respond to testing results or extrapolations to non-tested Product, nor shall it contribute to the cost of testing. MI is not responsible for determining the suitability of its products for surrounding building components or wall design.

MI products are tested in accordance with procedures established by AAMA and NFRC. The tests measure the performance of sample products in a laboratory setting. MI manufactures its products using the methods and materials used in fabrication of the tested product. However, product components and manufacturing processes involve a range of tolerances which can cause variance among tested values, and in-field evaluation of a product can affect test results as well. For these reasons, MI does not warrant its test results.

The thermal performance of many window products are enhanced by insertion of gases into the inner space of the IGU. Given the nature of these gases and technology used to manage them, MI does not warrant specific gas retention or fill levels and performance variation may occur.

**Requirement Before Initiating Legal Proceeding.** Before initiating a legal proceeding against MI under any legal theory, an Owner (past or present) must first give MI notice of its intent to file a legal claim by filling out and submitting the Notice of Legal Claim form available at [www.miwindows.com/LegalClaim](http://www.miwindows.com/LegalClaim). Owner must wait 45 days after submitting the Notice of Legal Claim to initiate a legal proceeding in order to allow MI the opportunity to investigate and tender a resolution for issues claimed. Follow the instructions under Warranty Claim Process for standard warranty service requests.

**Window Safety.** Screens on MI products are intended to keep out insects and are not intended to provide security or for the retention of persons or objects. Fall prevention devices, such as window opening control devices, can be installed on windows in order to lessen the risk of accidental falls. If fall prevention devices are desired or required for a window, check with your distributor for options sold by MI.

<sup>1</sup> MI's Eastern Region is all states within The United States other than AK, AZ, CA, CO, HI, ID, MT, NM, NV, OR, UT, WA, and WY.

<sup>2</sup> Owner-Occupied Residential Dwelling includes any single-family detached home, townhome, or condominium unit used by the Owner as his/her primary residence.

<sup>3</sup> Skilled Labor is labor provided where the work to repair the Product requires special knowledge or skills not possessed by Owner or tools not available to Owner. Minor repairs, such as replacing a sash or lock, do not require Skilled Labor.



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### Accreditations

## Don't just take our word for it.

We take great pride in delivering top-quality products and unbeatable service. The respect we earn from customers and experts alike has helped us become America's largest exterior remodeler. But don't just take our word for it — take theirs.





Window World of Tidewater Virginia

Customer List

Note :

9/3/2019 5:11 PM

Address	Zip	
226 WINGATE DR	23185	7-13-2016
107 TARLETON BIVOUAC	23185	12-6-2016
2801 S. RICHARD BUCK	23185	11-20-2016
1872 SKIFFES CREEK CIR	23185	7-7-16
102 TRAFALGAR COURT	23185	6-13-2016
313 SHEPPARD DRIVE	23185	5-5-2016
1835 FERRELL DRIVE	23185	9-25-2016
3012 E TIVERTON	23185	3-26-2016
205 JOHN PINCKNEY LN	23185	9-10-2016
103 CANHAM ROAD	23185	1-29-2016
223 ROBERTSON STREET	23185	7-25-2016
156 SECOND STREET	23185	2-3-2016

Ms Dimairo

The above address are for  
4000 series windows and install dates  
are written next to address.

Thank you  
Karin Bailey  
Controller



## WELCOME TO THE WINDOW WORLD FAMILY.

### Our Story.



Window World Tops National Remodeling Rankings.

It all began in 1995 with the unique vision and energetic passion of one man with a dream – to develop a home improvement company with a moral compass like no other.

He would offer only the finest quality products with distinction and integrity – and do so at the lowest possible price. Quite simply, the best for less.

He set out to break the mold and change the remodeling industry. And did he ever.

Today, we are America's Largest Replacement Window and Exterior Remodeling Company. We are proud to offer beautiful, world-class products from industry-leading manufacturers windows, siding and other professional-grade exterior building products. Our manufacturing partners demonstrate a proven record for superior craftsmanship, enduring quality, and genuine value. Our combined professionalism and expertise are further assurance that Window World is an excellent selection for your home.

We also take pride in our companywide commitment to customer happiness. From start to finish, our knowledgeable and friendly teams provide you with the exceptional customer care and attention to detail you can expect from the Window World brand.



### Window World Named Number One Replacement Window and Exterior Remodeling Company.

Window World has been ranked number one replacement contractor nationwide in *Remodeling* magazine's "Remodeling 550" and the largest exterior remodeling company in *Qualified Remodeler's* "Exterior Top 200."

### Our Promise.

We do our best on every job, every day, because at Window World we trust that a great job today will bring referrals from family, friends, and neighbors tomorrow.

Our promise to you is straightforward: Superior Products, Professionally Installed, at a Guaranteed Low Price – *Simply the Best for Less.*®  
Welcome to Window World.



Tammv Whitworth

# 1007 LAFAYETTE ST

**Location** 1007 LAFAYETTE ST **Mblu** 434/ 01/ 07/ 017/ 18  
**Parcel #** 434-01-07-017,18 **Owner** 1007 LAFAYETTE LLC  
**Business Name** **Taxable Status** Non-Exempt  
**Subdivision** Williamsburg West **NBHD** West Williamsburg  
**Parcel Usage** Single-Family (Rental) **Assessment** \$325,600  
**PID** 1098 **Building Count** 1  
**Legal Description** WEST WILLIAMSBURG BLOCK 7 LOT 17,18 **ARB District** AP-3 ←  
**Grade School** MWES  
**Middle School** BMS **High School** LHS  
**Sign District** RES **Voting Precinct** SKR  
**Zoning** RS-3 **Flood Plain** 0  
**Flood Map** 510294-005-B **Total Acres** 0.129

**Street/Road**

**Current Value**

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$170,600	\$155,000	\$325,600

**Parcel Addresses**

Additional Addresses
No Additional Addresses available for this parcel

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**ARCHITECTURAL PRESERVATION DISTRICT**

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**ARB#19-105: 1007 Lafayette, LLC/1007 Lafayette Street/AP-3**

This is a request for the after-the-fact installation of 20 vinyl windows in the single-family dwelling. The applicant replaced the existing wood windows with vinyl windows from Window World. Information on the windows is attached for the Board to review. The applicant installed a mixture of 1/1 and divided light windows as shown on the photos included with your packet. The Board reviewed the request at your August 27, 2019 meeting (ARB#19-090). A copy of the minutes for that meeting is attached.

Staff received a complaint that the windows were replaced at this location. A site visit revealed the original wood windows were replaced with vinyl windows and a violation letter was sent to the owner on July 24' 2019.

This property is located in the **AP-3 Zone** of the **Architectural Preservation District** and the **Existing Buildings** section on page 50 of the **Design Review Guidelines** pertains to this request. The building contained true divided light wood windows. The **Design Review Guidelines** state "existing wood windows should be retained and repaired. If restoration is not possible then copies of the original window matching the existing sash and frames with duplicates in wood form and details will be required."

Our records indicate this dwelling was constructed in 1951, is known as the Thompson House and is located in the West Williamsburg neighborhood.

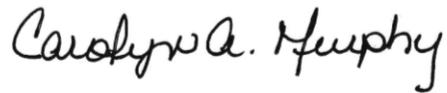
The applicant has noted in their request that the **Design Review Guidelines** state "Other window types may be replaced with windows that are allowed in AP-3 for new buildings or additions on a case-by-case basis". That is true for the two aluminum windows the applicant mentioned existed on the rear. This section refers to other window types that exist in the building and not replacing wood windows with other window types. The **Design Review Guidelines** are very clear on what is allowed for wood windows. It recommends the restoration and repair and if restoration or repair is not possible then duplicates in wood following the early form and details is required.

**WILLIAMSBURG ARCHITECTURAL REVIEW BOARD**

**September 24, 2019**

**Page 2**

Staff has reviewed the request and recommends removal of the vinyl windows for replacement with copies of the original wood windows in accordance with the ***Design Review Guidelines*** for all but the two aluminum windows. Staff makes this recommendation because the original windows have been destroyed and if the original windows needed replacing the ***Design Review Guidelines*** recommended copies of the original wood windows. The Board may approve on a case-by-case basis vinyl clad wood, pre-finished aluminum clad wood or high quality synthetic windows for the two windows that were not wood as stated by the applicant at the August meeting.

A handwritten signature in black ink that reads "Carolyn A. Murphy". The signature is written in a cursive style with a large initial 'C' and 'M'.

Carolyn A. Murphy, AICP  
Planning and Codes Compliance Director



# MINUTES

## City of Williamsburg

### Architectural Review Board

### September 24, 2019

A meeting of the Architectural Review Board was held on September 24, 2019, at 6:30 in the Stryker Center, 412 N. Boundary Street.

1. **CALL TO ORDER**

Chair Scott Spence called the meeting to order.

2. **ROLL CALL**

Present in addition to Chair Spence was Board members Ken Gross, Andrew Edwards, David Stemann, Mark Kostro Michael Stevens and Donald Koehler. Staff members present were Planning & Codes Compliance Director Carolyn Murphy and Planning Clerk Heather Moore.

3. **CONSENT AGENDA ITEMS**

Chair Spence explained the consent agenda procedure to the audience stating that if an application is in full compliance with the ***Design Review Guidelines***, it is placed on the consent agenda. If no member of the Board has any questions regarding the application and concurs that it is in full compliance with the ***Guidelines***, the audience is asked if they are present to discuss any case on the Consent Agenda. If there is no one in the audience present to discuss any item on the Consent Agenda, those applications are approved as submitted and the applicants dismissed without further discussion.

**SIGN#19-036: OYO Hotel/505 York Street – Monument – CP Sign District - Approved**

**ARB#19-107: BMZ Development, LLC/705 Goodwin Street – Accessory Structure - Fence -- AP-2 -- Approved**

**ARB#19-108: Econo Lodge/216 Parkway Drive – Exterior Change – Modification to front elevation – CP -- Approved**

Chair Spence opened up for public comments.

**Moved by Spence, seconded by Gross, the Board approved the Consent Agenda by a roll called vote of 7-0:**

**Ayes: Edwards, Spence, Gross, Stevens, Stemann, Kostro, and Koehler**

4. REGULAR AGENDA ITEMS

SIGNS

**SIGN#19-034: Sotherly Hotel/306 South Henry Street – Freestanding & Building – Approved**

Jason Hill, *Fine Signs*, provided the Pantone color comparison to the approved colors in the **Guidelines** for the request. It was stated that the sign would be externally illuminated, for primary use in the daytime & that the colors were logo colors.

**Moved by Edwards, seconded by Gross, the Board approved the application as submitted by a roll call vote of 7-0:**

**Ayes: Edwards, Spence, Gross, Stevens, Stemann, Kostro, and Koehler**

ARCHITECTURAL PRESERVATION DISTRICT

**ARB#19-104: Blakely/718 College Terrace – Exterior Change – New Storm Door & New Color for Front Door – Approved**

Ken Blakely, *owner*, presented the proposed new front door color and storm door replacement. He stated that the new storm door would be white Pella aluminum full-view storm door. For the front door, they would like to paint a brighter red (SW-7588 Show Stopper). The Board stated they had no objections to the proposed changes.

**Moved by Spence, seconded by Kostro, the Board approved the request as submitted by a roll call vote of 7-0.**

**Ayes: Edwards, Spence, Gross, Stevens, Stemann, Kostro, and Koehler**

**ARB#19-105: 1007 Lafayette LLC/1007 Lafayette Street – Exterior Change – Window Replacement – Denied**

Rob and Camille DiMaio, *owners*, stated that at the last meeting they were told wood for wood and feel that they have found new information that may help in their quest for approval to keep the vinyl windows that they had installed without approval. She stated that the windows that they have had installed meet the Guidelines that are listed on page 40, the information Mrs. DiMaio gathered was presented to the Board.

Chair Spence explained that the **Guidelines** state: if you live in the AP district, and have wood windows they need to be preserved. If the windows are unable to be preserved they will need to be replaced with wood windows that replicate the windows that were original to the house. He went on to clarify that if the house does not have wood windows for example aluminum, metal, etc., that vinyl may be allowed to be a substitute if certain criteria are met. There was some discussion on what the **Guideline's** intentions were with the term "other."

Mr. DiMaio stated that there is an eclectic mix of windows in the neighborhood and by being allowed to keep the current installed vinyl windows will not look out of place at their location. He feels the Board is within their right to approve the application based on their professional judgment on a case-by-case basis. He also stated that there is no notice to new owners in the City about the process, nothing is stated at closing.

The Board expressed their sympathy at the situation. However, Mr. Stemann stated that because this has been brought before them before they are incumbent to be consistent in their enforcement of the **Guidelines**. The Board feels that the **Guidelines** are clear in how to handle window replacements in the preservation areas.

**Moved by Spence, seconded by Gross, the Board denied the request for the after-the-fact replacement of wood windows with vinyl windows because the replacement with vinyl windows is not in accordance with the Design Review Guidelines by a vote of 6-1. The Board approved the after-the-fact replacement of two aluminum windows on the rear with vinyl windows since the vinyl windows meet the Design Review Guidelines for windows other than wood by a vote of 6-1:**

**Ayes: Edwards, Spence, Gross, Stevens, Stemann, Kostro**

**Nays: Koehler**

**ARB#19-109: Brooks/112 Jefferson Street/Addition – Approved**

**Jason Robins**, *representative*, was present for any questions that the Board may have regarding the project. There was a screened-in porch that the owner was enclosing and the City received a complaint that there was construction being done without a permit. Now the application is before the Board, the project is mid-way of being complete. The window and door have been salvaged from the home and relocated into the addition. The siding installed on the addition is vinyl with the main house containing aluminum. Mr. Robins stated that they are using vinyl siding because they were unable to find an aluminum product manufactured today that matches the previous product. The roof on the porch leaked so the roof was replaced with the same color and type of shingle. Mr. Robins stated that the small addition will be used for a water heater, washer and dryer, and a small bathroom.

Mr. Koehler confirmed that there have been no inspections during the course of the project. It was confirmed and stated that all inspections will be forthcoming if approval is granted by the Architectural Review Board.

**Moved by Edwards, seconded by Stevens, the Board approved the**

Architectural Review Board  
September 24, 2019

application as submitted by a roll call vote of 7-0.

**Ayes:** Edwards, Spence, Gross, Stevens, Stemann,  
Kostro, and Koehler

**CONCEPTUAL REVIEW**

**ARB#19-106: BMZ Development, LLC/705 Goodwin Street – Conceptual Review – Screen Porch to Sunroom**

**Benny Zhang, owner, and John Huie, AAPCO & Family Co,** were presented to discuss the proposed material conceptually. Mr. Huie proposed a Korad system and presented the Board a sample and information on the system to enclose the existing screened porch at 705 Goodwin Street.

The Board after discussion stated that the proposed Korad system did not meet the ***Design Review Guidelines*** which state “no manufactured building system” is allowed. Mr. Huie stated they could design a full window design for the porch if the Board thought that was acceptable. The Board stated a window design may be acceptable if the design fits the house and neighborhood and materials are used that are common in the area. The Board also stated that they would need to see architectural elevations and drawings for any future application. The sketches submitted with tonight’s application are not acceptable for a final application submittal.

**5. OTHER**

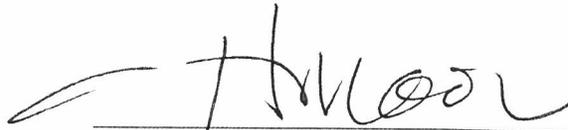
**A. Minutes: September 10, 2019**

**Moved by Spence, seconded by Gross the Board approved the minutes as submitted by a roll call vote of 5-0-2**

**Ayes:** Edwards, Spence, Gross, Stevens, and Stemann

**Abstain:** Kostro, Koehler

**6.** There being no additional business before the Board, the meeting adjourned at 7:47 p.m.



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Heather N. Moore  
Planning Clerk



## CITY OF WILLIAMSBURG

Planning and Codes Compliance Department

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September 25, 2019

1007 Lafayette LLC  
Rob & Camille Dimiao  
4909 Settlers Market Boulevard  
Williamsburg, VA 23188-2291

RE: ARB#19-090: 1007 Lafayette Street  
After-the-Fact Window Replacement from Wood to Vinyl  
After-the Fact Window Replacement (two windows on rear from Aluminum to Vinyl)

Mr. & Mrs. Dimiao:

Please let this letter and attached completed copy of the application for the City of Williamsburg, Architectural Review Board (ARB) serve as official notice of the ARB denial for your request for after-the-fact approval for the replacement of wood windows with vinyl windows in the dwelling located at 1007 Lafayette Street. The Board denied the request because the ***Design Review Guidelines*** state "existing wood windows should be retained and repaired and if restoration is not possible then copies of the original window matching the existing sash and frames with duplicates in wood form and details will be required." The Board did approve the replacement of two aluminum windows on the rear with vinyl windows.

According to the Section 21-857 of the City of Williamsburg Zoning Ordinance this decision may be appealed to City Council:

*Sec. 21-857. - Appeals.*

*(a) Appeals from architectural review board to city council.*

- (1) Any persons aggrieved by any decision of the architectural review board shall have the right to appeal the decision to the city council. An appeal shall be filed with the zoning administrator within 30 days after the final decision of the review board. The city council shall schedule a public hearing on the appeal not more than 45 days after the first council meeting following the receipt of the appeal.*
- (2) On any appeal, the final decision of the review board appealed from shall be stayed pending the outcome of the appeal before the council, except that the filing of such petition shall not stay the decision of the review board if such decision denies the right to raze, demolish or move a building in the architectural preservation district.*

1007 Lafayette LLC

August 28, 2019

Page two

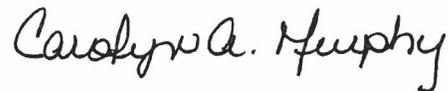
*(3) The city council may affirm, reverse or modify the decision of the review board, in whole or in part. The same standards shall be applied by the council as are established for the review board.*

The fee to appeal the decision of the Architectural Review Board to City Council is \$300.00 which must be submitted with the appeal request.

*(b) Appeals from city council to the circuit court. Any persons aggrieved by the decision of the city council shall have the right to appeal such decision to the circuit court for a review. Such appeal shall be taken by filing a petition at law, setting forth the alleged illegality of the action of city council, provided such petition is filed within the 30 days after the final decision is rendered by the city council. The filing of the appeal shall stay the decision of the council pending the outcome of the appeal to circuit court, except that the filing of such petition shall not stay the decision of the city council if such decision denies the right to raze, demolish or move a building in the architectural preservation district. The court may reverse or modify the decision of the city council in whole or in part, if it finds upon review that the decision of the city council is contrary to law or that its decision is arbitrary and constitutes an abuse of discretion, or it may affirm the decision of the city council.*

Please let me know if you have any questions or need any additional information.

Sincerely,



Carolyn A. Murphy, AICP  
Planning and Codes Compliance Director

## CHAPTER V ARCHITECTURAL PRESERVATION DISTRICTS

In **Architectural Preservation Districts** designs for new buildings should be compatible with other buildings in the district and need not imitate existing buildings in order to be compatible. Well-designed modern buildings may be considered in **Architectural Preservation Districts** when they respect the scale and character of surrounding existing buildings and are compatible and complimentary. As appropriate to the modern design, exceptions may be granted to certain specific requirements of these guidelines.

Due to different characteristics of buildings in **Architectural Preservation Districts** the District is broken into the following three zones with each zone having its own guidelines:

**AP-1 District** contains the Colonial Williamsburg Historic Area, areas adjacent to the Colonial Williamsburg Historic Area, the old campus of William and Mary, and the National Register Historic Districts of Pollard Park and Chandler Court.



DOG Street Pub (1929-31)  
402 West Duke of Gloucester Street



Warburton House (c1900) - 402 Scotland Street



Community Building (1998) - 401 North Boundary Street

**AP-2 District** contains the older neighborhoods surrounding the **AP-1 District**, such as College Terrace, Burns Lane, Indian Springs, West Williamsburg and Capitol Landing Road.



**Tribe Square (2011) – 249 Richmond Road**



**Harwood House (1950) – 104 Adams Street**



**McLendon House (2013) – 302 Page Street**



**Jerome Casey House (1929) – 711 Richmond Road**



**Morecock House (1895, r 2012) – 319 Capitol Landing Rd**



**Brooks House (2009) – 518 South England St**

**AP-3 District** contains post World War II Colonial Revival and more modern style dwellings such as those located in Pinecrest, Capitol Court, Crispus Attucks and West Williamsburg Heights (including all of the Arts and Cultural District).

The **Arts and Cultural District** is a subset of **AP-3** and allows for more design freedom of paint colors, sign colors and site elements to distinguish this area from other areas in the City.



(1939) - 711 Hamilton Street



Keene House (1982) - 500 Capitol Court



Russell House (1975) - 418 Harriet Tubman Drive



**TADA Beads - 1001 Richmond Road**



**Currently Elephant's Tale (1930) - 901 Richmond Road**

## **ARCHITECTURAL CHARACTER**

Design review within **Architectural Preservation Districts** is intended to protect and to preserve the historic architectural fabric of buildings from inappropriate renovations, to create an atmosphere for compatible future growth, to prevent the intrusion of adverse environmental influences, and to assure that new buildings will be in keeping with the character of older neighborhoods within **Architectural Preservation Districts**.

- These guidelines describe a range of prescriptive architectural practices that can be employed in numerous ways, but still assure that any new construction, addition or alteration of existing buildings is done in such a way as to complement and contribute to the existing scale and character of the district.
- Architecture for new buildings or additions should not replicate or imitate historic buildings, but be an evolution of and compatible with Williamsburg's design traditions, forms and materials.
- Replications of 18<sup>th</sup> century buildings are not acceptable.
- Traditional architectural styles associated with Williamsburg provide flexibility of design and innovative possibilities for responding to the existing pattern of development within the district, thus fitting into and building up patterns that are consistent in each zone. This includes Georgian, Queen Anne and colonial revival styles as well as bungalows and four square forms.
- Adaptations of these architectural styles ensure long-term compatibility within the city and enhance opportunities for adaptive use of buildings.
- Exceptional contemporary architectural designs should address the unique site requirements and relate successfully to nearby styles and architecture. Sensitively designed modern architecture contributes vitality and cultural continuity to these districts. In particular, public buildings in the city are typically of modern design.
- The creative use of non-traditional materials will be reviewed on a case-by-case basis depending on the design of the building.



William Byrd House (1771) - 410 West Francis Street

## **APPROVAL OF NEW MATERIALS**

The Architectural Review Board will continue to review new materials on a regular basis. New materials may be presented to the Board during any regular meeting, and should include a sample of the material and the manufacturer's specifications for the material. If the Board determines that the ***Design Review Guidelines*** should be amended to include the new material, the Board may initiate an amendment to the Guidelines in accord with Article IX, Architectural Review, Sec. 21-853(h), of the Zoning Ordinance.



Wood Siding (left) Cementitious Siding (right)



Modern window



601 Wythe Lane

## ARCHITECTURAL PRESERVATION DISTRICT (AP-3)

This District contains neighborhoods that were constructed post World War II Colonial Revival and a more modern style dwelling which includes the Pinecrest, Capitol Court Crispus Attucks and the Arts and Cultural District.

The Arts and Cultural District is a subset of **AP-3** and allows for more design freedom of paint colors, sign colors and site elements to distinguish this area from other areas in the City. Specifically, Chapter V, windows (page 40), Chapter V, acceptable colors (page 47), and Signs Chapter VII, Page 7 describe guidelines that are uniquely applicable in the Arts and Cultural District.



(1939) – 711 Hamilton Street



Keene House (1982) – 500 Capitol Court



Russell House (1975) – 418 Harriett Tubman Drive



(1950) – 708 Tanyard Street

## **NEW BUILDINGS AND ADDITIONS - (AP-3)**

New designs should contribute to existing buildings located in the district. Additions and alterations should be compatible with existing building designs with the use of high quality building materials.

- New buildings and additions should be constructed of brick, horizontal wood siding, vinyl, aluminum or cementitious siding. Wood shingles may be appropriate depending on the specific design.
- If vinyl siding is approved for use, it shall meet the following standards:

**Standard:** ASTM D3679 is the accepted industry standard for quality.

**Thickness:** A minimum of 0.042 inches is required for impact resistance and durability.

**Style:** A beaded siding with a minimum of 6.5 inches of exposure is required.

**Color:** White, ivory, and other soft, colonial style colors are recommended.

Applicants must provide specifications of their vinyl siding and trim details with their application. The specifications must address the items listed above. When applying vinyl siding over existing siding it is important to consider retaining trim details with their applications.

- Materials such as metal siding, tiled faced or ceramic-faced masonry units and synthetic stucco are not allowed.
- Wood siding should be horizontal with a six to eight inch exposure.
- Side and rear elevations should relate to the design elements and materials of the front elevation.
- Any wall should be built of not more than two materials, and those materials should change along a horizontal line such as a floor line or gable end. The heavier material such as brick should always be below the lighter material such as wood.
- Small additions may be constructed with the same type of siding that is on the building provided it matches the existing siding material in color, size and thickness.
- Solid synthetic trim may be allowed on a case-by-case basis.
- All wood siding, wood shingles and wood trim shall be sealed with paint or an opaque stain.
- Mortar used for brick should be buff or gray. White mortar is not recommended.



### **DOORS - (AP-3)**

- Entrance doors should be wood or fiberglass with panels or some variation thereof. Windows, side lights and transoms in entrance doors are permitted, provided that they are proportioned and appropriate to the specific style of the building.
- Flush doors with applied trim are not permitted.
- Garage doors, utilities doors, and service doors should be painted wood, steel, aluminum or fiberglass and should correspond with the style of the building.
- Storm doors should be made of painted wood or aluminum. Storm doors should relate to the architectural character of the entrance.
- Screen doors should be made of wood or aluminum with full view, shuttered, or appropriate for the specific style of the building.



### **WINDOWS, STORMS, SHUTTERS AND AWNINGS - (AP-3)**

Windows contribute to the façade of a building and will be evaluated on (1) the pattern of the openings and their size; (2) proportions of the frame and sash; (3) configuration of window panes; (4) muntin profiles; (5) material; (6) paint color; (7) characteristics of the glass; and (8) details or decorative elements.

- Wood, vinyl clad wood, or pre-finished aluminum clad wood windows are allowed.
- High quality synthetic windows may be approved on a case-by-case basis. Applicants must provide the AAMA/WDMA/CAS101/I.S.2/A440-11 certification reference, manufacturer's warranty (minimum 15-year), local examples of existing installation with a duration of at least 5 years, and how long the manufacturer has been in business (recommended length of business is at least as long as the warranty period).
- Windows in the Arts and Cultural District must have muntins on the exterior.
- Windows located in **AP-3** outside of the Arts and Cultural District may have muntins on the interior or exterior of the glass.
- Windows should be rectangular single, double, or triple hung or operable casement type.
- Semi-circular, circular, or hexagonal windows are permitted, but with minimal application.
- Windows on the ground floor should be the same proportion but slightly larger than windows on upper floors.
- Window openings in upper floors should be centered directly over openings in the ground floor whenever possible.
- Openings in gable ends should be symmetrical.
- Window openings should be at least three feet from building corners.
- Total glazed area on the street frontage should not exceed 30 percent of the total surface.
- Storm windows should be full view and constructed of wood or aluminum.
- An energy panel (interior storms) is an alternative to exterior storms and does not require approval from the Architectural Review Board.
- Shutters if proposed must be painted wood, vinyl or high quality composite shutters that are sized to fit the opening with appropriate hardware.
- Metal shutters are not allowed.
- Shutters nailed to the side of a building are not allowed.
- Awnings if used must be made of fabric with side panels to cover the undercarriage. Vinyl and metal awnings are not allowed.



(1947) - 712 Monument Avenue

## **ROOFS - (AP-3)**

The types of wood-framed roofs typically fall into categories of symmetrical gables, gambrels, or hip roofs. Gables are the most prevalent. One-story primary roofs should have slopes not less than 7:12 and no steeper than 14:12. Two-story primary roofs may be as low as 4:12 and no steeper than 14:12. Secondary roofs may have slopes less than 7:12 depending on the material used (i.e. metal roof over porches can be less than 7:12; whereas a shingle roof should be not less than 7:12). On residential structures, flat roofs should be used only as occupiable areas directly accessible from the outdoors. These must have appropriate parapets and railings.

- Wood shingles, slate, architectural grade fiberglass shingles, metal shingles, high quality synthetic slate, textured concrete shingles and standing seam metal roofs are permitted. High quality synthetic slate roofs must meet the following minimum standards: Impact UL 2218-Class 4, Accelerated Weathering ASTM 4798—little or no color changes, and Freeze-thaw ICC-ES Acceptance Criteria ACO7 Section 4.9—no crazing, cracking or other adverse surface changes, which must be provided with the application.
- Shiny metal roofs, exposed aluminum or exposed galvanized metal roofs, ceramic or synthetic ceramic roofing tiles, stamped metal decorative roofing panels, flat roofs, plastic, vinyl or other synthetic type of roofs are not permitted.
- Metal roofs are recommended for porch roofs or ancillary elements and should be copper or gavalume type. Other colors may be acceptable on a case-by-case basis.
- Non-glossy colored anodized metal roofs should be gray, black, brown, dark green or other earth tones. Flashing may be copper, vinyl or anodized aluminum.
- Copper roofs, gutters and flashing should not be painted or sealed but should be permitted to age naturally.
- Gable roof ends should have a minimum overhang of 12 inches.
- Steep gable roofs like the “Swiss Chalet” shall not be used (pitches in excess of 14:12).
- Single plane pitch roofs i.e. shed roofs for houses shall not be used on the main house but can be used on wings.
- Roof penetrations should be on the rear slope of roofs and painted to match the color of the roof. Skylights or solar panels should be mounted on the rear slope of the roof, colored to match the roof and not be visible from the street.
- Dormers should have gabled, hipped, or shed roofs.
- Shiny metal roof vents, fireplace stacks, plumbing vents or other pipes are not acceptable.
- Gutters and downspouts should be made of copper or aluminum and may be half-round or ogee. Where gutters are not used, it is recommended that brick, concrete or gravel be placed at the drip line.



### **PORCHES, DECKS, TERRACES, STOOPS AND RAILS - (AP-3)**

- Porches with a narrow frontage should be no less than six feet deep, while porches with a wide frontage should be at least eight feet deep.
- Porches and stoops should be constructed of wood and contain appropriate sized columns and rails for the design.
- Terraces may be constructed using masonry elements that are consistent with the structure.
- Vinyl and other synthetic materials are not acceptable, except that solid synthetic materials will be considered on a case-by-case basis. Samples of proposed materials must be submitted with the application.
- Materials for railings may be wood, wrought iron, steel or aluminum and should be designed to complement the architectural design of the building. Synthetic rails will be considered on a case-by-case basis.
- Face nailed balusters to a bottom and top rail are not acceptable.
- Screened porches should be located on the side or rear of the building.
- Columns are preferred to be Tuscan or Doric orders, although other types exist within the area. When used, columns should have correct proportions and profiles as described in *The American Vignola* and other traditional pattern books.
- Columns may be made of wood, although certain grades of fiberglass columns and cellular PVC are acceptable.
- All posts should be at least five inches in least dimension.
- Wood columns and posts should be sealed with paint or opaque stain.
- Modern deck designs are not appropriate in a front yard or if visible from a public street.
- Stoops at secondary entrances should be made of wood, brick or concrete. If made of concrete the sidewalls and stair risers should be faced with brick.



### **CHIMNEYS - (AP-3)**

- Chimneys can be used but are not required. They should be constructed of brick (unpainted) or if constructed with the same material as the siding of the building, painted to match the building.
- Stucco is not permitted.
- Chimneys should be capped to conceal spark arresters.
- Primary chimneys should be rectilinear in design and should have a corbelled termination in keeping with existing types.



### **OUTBUILDINGS – (AP-3)**

- Outbuildings must meet the same criteria (i.e. walls, openings, roof etc.) as noted above for the main building.
- Metal outbuildings are not permitted.



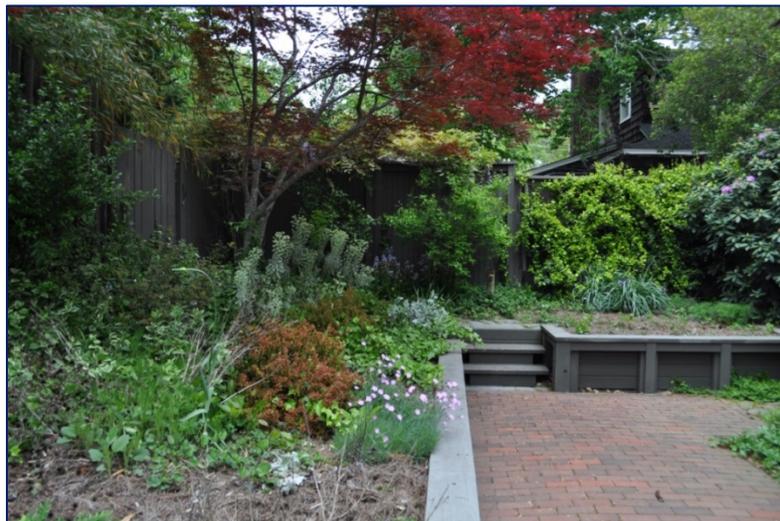
## **FENCES – (AP-3)**

- Wood, aluminum and wrought iron fences that are in keeping with a residential scale are permitted. The maximum height allowed for fences located in a front yard is four feet with up to six feet being allowed for a side or rear yard.
- Salt-treated wooden fences must be painted or stained.
- Chain-link, wire, plastic, and vinyl fences are not permitted.
- The finished side must face the street and/or adjoining properties.
- Fences should contribute to the site's character and not detract from the site's principal architectural features and should be compatible with adjacent sites.
- Fences that disrupt the harmony of the streetscape by breaking up established architectural rhythms are discouraged.



### **SITE ELEMENTS, SITING AND LANDSCAPE FEATURES – (AP-3)**

- Site elements should contribute to the site's character and not detract from the site's principal architectural features and should be compatible with adjacent sites.
- Mechanical equipment and trash facilities should be located in a side or rear yard and screened with a fence which must be stained or painted to match the building.
- Retaining walls if visible from the street shall be constructed of brick. Retaining walls not visible from the street may be constructed of brick, stone, block, timber or smooth finished concrete. If rails are required they should be constructed of wrought iron or aluminum and colored to blend in with the building.
- Site furnishings such as tables, chairs, benches, planters, flower pots, light poles, trash containers, bike racks and the like, must be submitted and approved by the Board on a case-by-case basis.



## **ACCEPTABLE COLORS – (AP-3)**

- Buildings shall be stained or sealed a natural earth tone or should be painted using colors from the following Benjamin Moore Williamsburg color palette. Colors with an **\*\* and highlighted in red** are not allowed for the body or siding of a building. If used they would be limited to doors, shutters, trim and windows.

### **White and Tan Color Range**

Harwood Putty CW-5	Capitol White CW-10	Parish White CW-15
Geddy White CW-20	Williamsburg Stone CW-25	Market Square Shell CW-30
Palace Tan CW-35	Lime White CW-95	Prentis Cream CW-100
Bracken Cream CW-105	<b>Calcite CW-110**</b>	Cornice Tan CW-115
Bracken Biscuit CW-120	Brush Beige CW-125	Coffeehouse Tan CW-130
Timson Sand CW-140	Brick House Tan CW-145	Randolph Bisque CW-185
Raleigh Tan CW-190	Chowning's Tan CW-195	<b>Franklin White CW-200**</b>
<b>Galt Peach CW-210**</b>	Byrd Beige CW- 365	Wythe Tan CW-415
Bruton White CW-710		

### **Brown and Black Color Range**

Raleigh Sorrell CW-135	<b>Everard Coffee CW-150**</b>	<b>Revolutionary Storm CW-155**</b>
Dixon Brown CW-160	Coffeehouse Chocolate CW-165	Tarpley Brown CW-170
<b>Tucker Chocolate CW-175**</b>	<b>Bucktrout Brown CW-180**</b>	<b>Walnut CW-240**</b>
Reid Brown CW-260	Charlton Brown CW-265	<b>Mopboard Black CW-680**</b>
Lampblack CW-695	<b>Bone Black CW-715**</b>	

### **Gray Color Range**

Tavern Gray CW-40	York Gray CW-45	Tyler Gray CW-50
Finnie Gray CW-55	Cole Stone CW-60	<b>Gunsmith Gray CW-65**</b>
<b>Pelham Gray CW-70**</b>	Randolph Stone CW-75	Carter Gray CW-80
<b>Randolph Gray CW-85**</b>	Tavern Charcoal CW-90	<b>Powell Smokehouse CW-360**</b>
<b>Pearl CW-640**</b>	<b>Powell Gray CW-665**</b>	<b>Ambler Slate CW-685**</b>
<b>Bracken Slate CW-690**</b>	Slate CW-700	Tucker Gray CW-705
Bone Black CW-715	<b>Geddy Gray CW-720**</b>	

### **Red Color Range**

<b>St. George Red CW-245**</b>	Carriage Red CW-250	Palace Arms Red CW-255
Nicholson Red CW-270	<b>Cochineal Red CW-330**</b>	

### **Green Color Range**

<b>Gloucester Green CW-440**</b>	<b>Burwell Green CW-445**</b>	<b>Greenhow Moss CW-450**</b>
Timson Green CW-470	<b>Palmer Green CW-475**</b>	Bassett Hall Green CW-480
<b>Burgess Green CW-485**</b>	Levingston Green CW-490	<b>Russell Green CW-495**</b>
<b>Nicholson Green CW-500**</b>	<b>Windsor Green CW-505**</b>	Waller Green CW-510
<b>Palace Green CW-520**</b>	<b>Raleigh Green CW-525**</b>	<b>Colonial Verdigris CW-530**</b>
<b>Buffet Green CW-535**</b>	<b>Goodwin Green CW-555**</b>	

### **Blue Color Range**

<b>Everard Blue CW-575**</b>	Wetherburn's Blue CW-580	<b>Washington Blue CW-630**</b>
Apollo Blue CW-645	Chiswell Blue CW-660	<b>Brush Blue CW-675**</b>

### **Yellow and Gold Color Range**

Ludwell White CW-275	<b>Moir Gold CW-280**</b>	<b>Gamboge CW-285**</b>
<b>English Ochre CW-290**</b>	Sweeney Yellow CW-370	Tavern Ochre CW-375
Massicot CW-380	Coffeehouse Ochre CW-385	Bryan Ochre CW-390
Governor's Gold CW-395	<b>Damask Yellow CW-400**</b>	Chamber Yellow CW-410
Wythe Gold CW-420	Scrivener Gold CW-430	Everard Gold CW-435

- Painted siding and trim should be limited to two colors from the approved color palette unless additional colors are approved by the Architectural Review Board on a case-by-case basis. A third color may be used for shutters and doors.
- Buildings located in the Arts and Cultural District will allow a wider range of colors and the total number of colors to allow flexibility and latitude in design.
- Additional paint colors from the approved color palette may be approved on a case-by-case basis.
- Brick that is bright red, orangish-red, pink, light red, or other colors may not be acceptable. Brick color should be a through-the-body color.
- Siding that is pink, bright silver, red, bright green or blue, or colors that are visually out of character for the area and architectural style are not acceptable.
- Wood fences and decks must be painted or stained if this is necessary to compliment the site or is required for maintenance of the materials.
- If colors are proposed that are not from the approved color palette they may be approved by the Architectural Review Board on a case-by-case basis. Specific color chips or samples to include the color name must be submitted with the application.
- Existing single-family dwellings or commercial buildings may duplicate or match existing color schemes without approval from the Architectural Review Board.
- Any new color scheme for single family dwellings that are proposed to be applied to already painted surfaces and which are comprised of no more than three colors as stated above from the Benjamin Moore Colonial Williamsburg color palette.
- Any new color schemes for commercial buildings must be approved by the Architectural Review Board. New color schemes should respect the architectural style of the building and colors of existing signage for any business on the property.



1939 - 711 Hamilton Street



Perkins House (1927) – 725 Lafayette Street

## **EXISTING BUILDINGS - (AP-3)**

Preserving architectural features on the remaining historical buildings in the City is one of the principal goals of the ***Design Review Guidelines***. Maintaining and repairing features such as siding, trim, doors and windows is germane to that goal. Conservation is preferable to reconstruction because it preserves evidence of past building practices and construction techniques by retaining original materials. Original wood siding, trim, and architectural features should be retained and repaired on existing buildings whenever possible.



(1937) – 104 Westover Avenue

### **SIDING – (AP-3)**

- Wood siding and trim on buildings listed on or eligible for the National Register of Historic Places (Appendix 1) must be replaced with wood siding and trim that matches or duplicates the existing material or product.
- Wood siding and trim on buildings listed on the Cities Listing of Buildings 50 years old or older (Appendix 2) should be replaced with wood siding and trim that matches or duplicates the existing material or product.
- Except for buildings listed on or eligible for the National Register of Historic Places (Appendix 1), the Architectural Review Board may grant the following exceptions on a case-by-case basis for existing buildings:
  1. If the original siding material is wood and it is covered with a synthetic material that cannot be replaced in kind because the siding material is no longer available in the market, replacement with other types of similar synthetic siding may be considered as follows, provided that the original wood material is not removed:
    - a. Aluminum siding may be replaced with vinyl siding that resembles horizontal wood siding.
    - b. Asbestos siding may be replaced with vinyl siding that resembles horizontal wood siding.
  2. If the original siding material is a synthetic material and cannot be replaced in kind because the existing siding is no longer available in the market, replacement with horizontal wood siding or similar synthetic siding may be considered as follows:
    - a. Aluminum siding may be replaced with vinyl or cementitious siding that resembles horizontal wood siding.
    - b. Vinyl siding may be replaced with cementitious siding that resembles horizontal wood siding.

- c. Asbestos siding may be replaced with cementitious siding that resembles horizontal wood siding.
  - d. Masonite siding or other hardboard siding may be replaced with cementitious siding that resembles horizontal wood siding.
3. If vinyl siding is approved for use, it shall meet the following standards:
- Standard:** ASTM D3679 is the accepted industry standard for quality.
  - Thickness:** A minimum of 0.042 inches is required for impact resistance and durability.
  - Style:** A beaded siding with a minimum of 6.5 inches of exposure is required.
  - Color:** White, ivory, and other soft, colonial style colors are recommended.

Applicants must provide specifications of their vinyl siding and trim details with their application. The specifications must address the items listed above. When applying vinyl siding over existing siding it is important to consider retaining trim details with their applications.

- Synthetic trim will be considered on a case-by-case basis.
- For guidance on rehabbing older buildings see Chapter IX Rehabilitation.



(1940) – 704 Monumental Avenue

## **WINDOWS, STORMS AND SHUTTERS - (AP-3)**

- Existing wood windows should be retained and repaired for buildings located in **AP-3**.
- If restoration is not possible then copies of the original window matching the existing sash and frames with duplicates in wood following the early form and details will be required.
- Other window types may be replaced with windows that are allowed in **AP-3** for new buildings or additions on a case-by-case basis.
- Storm windows should be full view and constructed of wood or aluminum.
- An energy panel (interior storms) is an alternative to exterior storms and does not require approval from the Architectural Review Board.
- Operable wooden shutters, painted, sized to fit the opening must be retained and repaired.
- If restoration of existing shutters is not possible then copies of the original wood shutter must be installed sized to fit the opening with appropriate hardware. Vinyl and metal shutters are not allowed.
- High quality composite material shutters that resemble original shutters may be approved on a case-by-case basis.

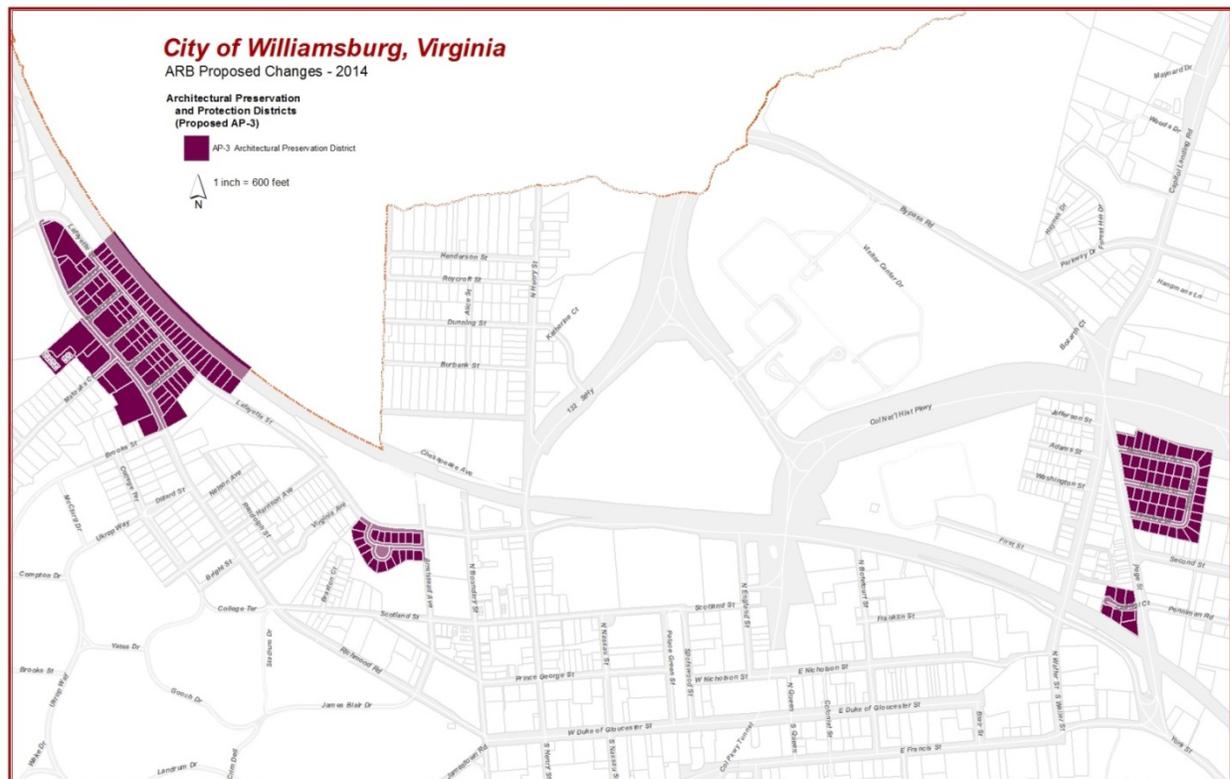


1001 Richmond Road

## **OTHER ELEMENTS - (AP-3)**

- Existing roofing material should be repaired or replaced in kind.
- Wood shingles, slate, architectural grade fiberglass shingles, high quality synthetic slate, textured concrete shingles and standing seam metal roofs are permitted.
- Material replacement in kind does not require approval from the Architectural Review Board.
- Any change in materials on the exterior requires approval from the Architectural Review Board.
- Decks are not historic features for buildings prior to World War II and are therefore not acceptable in a front yard or if they are visible from a public street.
- More appropriate outdoor seating areas for backyards of traditional architecture styles are stone or brick terraces, patios or pergolas designed to be compatible with the architectural style of the building.
- Unpainted, pressure-treated decks are not acceptable.
- If visible from a public street they must be compatible with building and contain rails that are appropriate for the architectural style of the building.
- For buildings constructed after World War II decks may be acceptable on a rear elevation if the design is compatible with the architectural style of the building.
- For other elements and color schemes not listed in this section, see New Buildings and Additions in the **AP-3** above.

## **ARCHITECTURAL PRESERVATION DISTRICT (AP-3)**



Chapter 2  
**Goals for the Future of Williamsburg**

The 2012 Comprehensive Plan is designed to guide the physical and economic development of Williamsburg by offering a distinctive vision for both its natural and built environment. The planning process has incorporated a range of public participation opportunities to allow citizens to express their visions and expectations for the future of the City. A number of neighborhood planning forums, three community forums in conjunction with James City County and York County, as well as multiple work sessions with both public officials and citizens, have been or will be conducted. The comments received, as well as a review of the recommendations of the City’s past Comprehensive Plans, were used by the Planning Commission in establishing these goals and objectives, which have been grouped into eight general categories:

- I. Character of the City**
- II. Economic Vitality**
- III. Transportation**
- IV. Public Safety**
- V. Education and Human Services**
- VI. Recreation and Culture**
- VII. Environmental Sustainability**
- VIII. Implementation**

Within each of these categories, specific goals and objectives are listed to serve as the basis for planning and evaluating the City’s future.

**I. Character of the City.**

Protect and enhance Williamsburg’s unique character as defined by its residential neighborhoods, urban places, open spaces, and by its iconic places – the Colonial Williamsburg Historic Area and the campus of the College of William and Mary.

- A. Protect the character and integrity of the Colonial Williamsburg Historic Area, the historic campus of the College of William and Mary, and the City’s historic neighborhoods and commercial areas.
- B. Improve the quality of life in the neighborhoods surrounding William and Mary by building and maintaining effective working relationships between the city, college, students, neighbors and landlords, and by supporting the work of the Neighborhood Relations Committee.
- C. Encourage appropriate scale and character for new and infill residential development, taking into consideration the scale and character of existing neighborhoods, environmental constraints, and the capacity of existing and proposed services.
- C. Encourage an appropriate mix of housing and commercial uses in mixed-use developments, particularly in the Downtown, Midtown, Northeast Triangle, High Street and Quarterpath Road areas.
- D. Evaluate and update regulations, design standards and capital improvements to ensure that they properly implement the City’s goals and that they facilitate new or adaptive reuse projects supported by the Comprehensive Plan.

## **II. Economy Vitality.**

Increase employment opportunities, income, business success, and City revenues by supporting and promoting the City's economic base of heritage tourism and education and other development and redevelopment opportunities.

- A. Support and expand visitation through tourism-oriented destinations and related businesses, visitation to the College of William and Mary, and promotion of arts, sports and other special events related to tourism.
- B. Participate in efforts to advance regional tourism and economic development goals both within the Historic Triangle and the greater Hampton Road region.
- C. Support business expansion and job opportunities related to Colonial Williamsburg and the College of William and Mary.
- D. Encourage high quality commercial and institutional development consistent with the character of the City in order to expand the City's economic base.
- E. Encourage the creative economy through support for the City's Arts District, The Colonial Williamsburg Art Museums, and the future William and Mary Fine and Performing Arts Complex.
- F. Identify areas suitable for infill development and redevelopment, and develop strategies to encourage such development and redevelopment.
- G. Support the economic development goals of the City's Economic Development Authority as reflected in the EDA's Economic Development Strategic Plan.
- H. Cooperate with the Colonial Williamsburg Foundation, the College of William and Mary, and Riverside Healthcare Systems to coordinate their land use planning and economic development efforts with the City's Comprehensive Plan and Economic Development Strategic Plan.

## **III. Transportation.**

Provide an effective transportation system which is compatible with the future land use plan, serving pedestrians, bicyclists and motorists, and promoting the expanded use of transit and rail.

- A. Improve and expand bicycle and pedestrian facilities as an important part of the transportation system, with special emphasis on filling in gaps to create a safe and interconnected system with connections to transit services.
- B. Support the Williamsburg Area Transit Authority's provision of an acceptable level of transit service for the Williamsburg area, including the continuation of the Williamsburg Trolley service, an improved system of bus shelters, and maintaining a regional multimodal hub at the the Williamsburg Transportation Center.
- C. Incorporate traffic-calming measures in appropriate locations to minimize traffic impacts on the City's neighborhoods.
- D. Evaluate existing parking regulations and facilities to ensure that adequate parking is provided for residents and visitors.
- E. Support the development and implementation of improved high-speed rail down the Virginia Peninsula, with at least one additional train per day both ways, as well as future light-rail service, with the Williamsburg Transportation Center serving as the regional multimodal hub.
- F. Complete the widening and improvement of Ironbound Road between Richmond Road and Longhill Connector.
- G. Work with the Beautification Advisory Committee to improve the character of the City's entrance corridors, and also with James City County and York County to ensure that the visual quality of the entrance corridors is consistent among the three jurisdictions.

#### **IV. Public safety.**

Secure an ever safer community by enabling police, fire, emergency management and judicial operations to protect and serve City residents, visitors, businesses and historical assets.

- A. Maintain and upgrade public safety facilities to enable the City to provide quality services for law enforcement, firefighting, communications, and emergency operations.
- B. Support safe residential communities by increasing community participation in neighborhood watch programs to enhance and improve police/community partnerships, particularly in the Merrimac Trail area.
- C. Support the operation and maintenance of the Williamsburg-James City County Courthouse, the Virginia Peninsula Regional Jail, and the Middle Peninsula Juvenile Detention Facility (Merrimac Center).

#### **V. Human Services and Education.**

Seek opportunities and implement programs that address the educational, health, social and training needs and expectations of City residents and workers.

- A. Encourage adequate housing opportunities by creating a balanced distribution of housing types throughout the City.
- B. Facilitate the work of private and quasi-public agencies such as the Williamsburg Redevelopment and Housing Authority and Williamsburg Housing Partnership, Inc. in creating and improving moderately priced owner-occupied housing, and coordinate these efforts with neighboring jurisdictions to address housing needs on a regional basis.
- C. Support the expansion of affordable senior housing on the Williamsburg Redevelopment and Housing Authority's Blayton Building property on Scotland Street.
- D. Investigate the use of zoning incentives to increase the supply of new workforce housing in Williamsburg, particularly in the areas of prospective development such as the southeast quadrant of the City.
- E. Support the operation of the Williamsburg-James City County school system and provide necessary facilities within the City.
- F. Provide appropriate public support for human services agency facilities and other capital improvements as needed to meet critical health and human service needs, especially for vulnerable populations.

#### **VI. Recreation and Culture.**

Add to the quality and availability of cultural and recreational facilities and programming, as might be typically available only in larger communities, to meet the needs and expectations of City residents and visitors.

- A. Expand and enhance the City's system of parks, open space and recreational facilities, serving all segments of the population.
- B. Encourage conservation of open space in the City and promote preservation, maintenance and access to natural areas and historic sites through efforts such as public acquisition, delineation of greenbelt corridors, private dedication of easements, and passive recreational use.
- C. Protect significant archaeological resources by preservation or recovery through resource management plans.
- D. Preserve the portion of the Country Road between the Mounts Bay County Government Complex and South England Street near the Williamsburg Lodge as a multiuse trail under City and County ownership.
- E. Encourage regional cooperation in the development, expansion and promotion of arts festivals, sports tournaments and other special events.
- F. Support the development of the City's Arts District, improvements to The Colonial Williamsburg Art Museums, and the future William and Mary Fine and Performing Arts Complex.

## **VII. Environmental Sustainability.**

Build an evermore sustainable and healthy City pursuing multiple strategies for conservation and restoration, and providing essential environmental services related to drinking water, waste water, stormwater and solid waste.

- A. Protect Waller Mill Reservoir from the adverse environmental impacts that could result from future development within the watershed.
- B. Continue to upgrade the City's water distribution system to provide adequate quantity and quality for both daily usage and fire flows.
- C. Continue to maintain and expand the City's sanitary sewerage system, including both distribution lines and pump stations.
- D. Continue to coordinate the City's Stormwater Management Plan with other City land use regulations, such as zoning, erosion and sedimentation control and site plan review, and ensure that future development meets the standards of the Chesapeake Bay Preservation Act.
- E. Update the City's Stormwater Management Plan to incorporate new state standards.
- F. Continue to implement and promote solid waste disposal and recycling programs which meet community needs and state mandates in the Peninsula region.
- G. Evaluate and revise architectural standards to allow more flexibility in green building design and in the use of environmentally sustainable materials.

## **VIII. Implementation**

Implement the recommendations of the Comprehensive Plan by updating the City's zoning, subdivision and site plan controls, and by incorporating the Plan's recommendations into the Capital Improvement Program.

## Chapter 5 **Community Character**

### **INTRODUCTION**

The most important goal of the Comprehensive Plan is the first:

*Protect and enhance Williamsburg's unique character as influenced by its iconic institutions – Colonial Williamsburg and the College of William and Mary – and as reinforced by the natural and manmade environment of its entrance corridors, open spaces, residential neighborhoods and people places.*

Protecting this character is by necessity a joint effort of the entire community. The City needs to work closely with its major institutions – the Colonial Williamsburg Foundation and the College of William & Mary. Cooperation and coordination with James City County and York County is also important, since the character and visual quality of the major entrance corridors into the City transcend jurisdictional boundaries. Important open space needs to be preserved, maintained and made accessible through efforts such as enforcement of the standards of the Chesapeake Bay Preservation Act, public acquisition, delineation of greenbelt corridors, private dedication of easements, and passive recreational use.

This chapter deals with the built environment component of community character: historic preservation, design review and entrance corridors. The natural environment component, including greenbelts and open space, is discussed in *Chapter 6 - Environmental Management*. Each component is important separately, but collectively they define our community.

### **HISTORIC PRESERVATION AND DESIGN REVIEW**

Recognition of the importance of history and historic preservation has strong roots in Williamsburg. When the capital of the Virginia colony was moved to the present site of Williamsburg in 1699, then-Governor Nicholson prepared a detailed plan for the colonial city based upon Baroque city design principles, and including very specific standards – uniform setbacks for buildings, roof pitch, size of windows and specific prescriptions for street widths and the design of public buildings. Williamsburg began to decline after the capital was moved to Richmond in 1778, but was rescued through the generous support of John D. Rockefeller, Jr. The extensive restoration effort began in 1927 and continues today under the auspices of the Colonial Williamsburg Foundation.

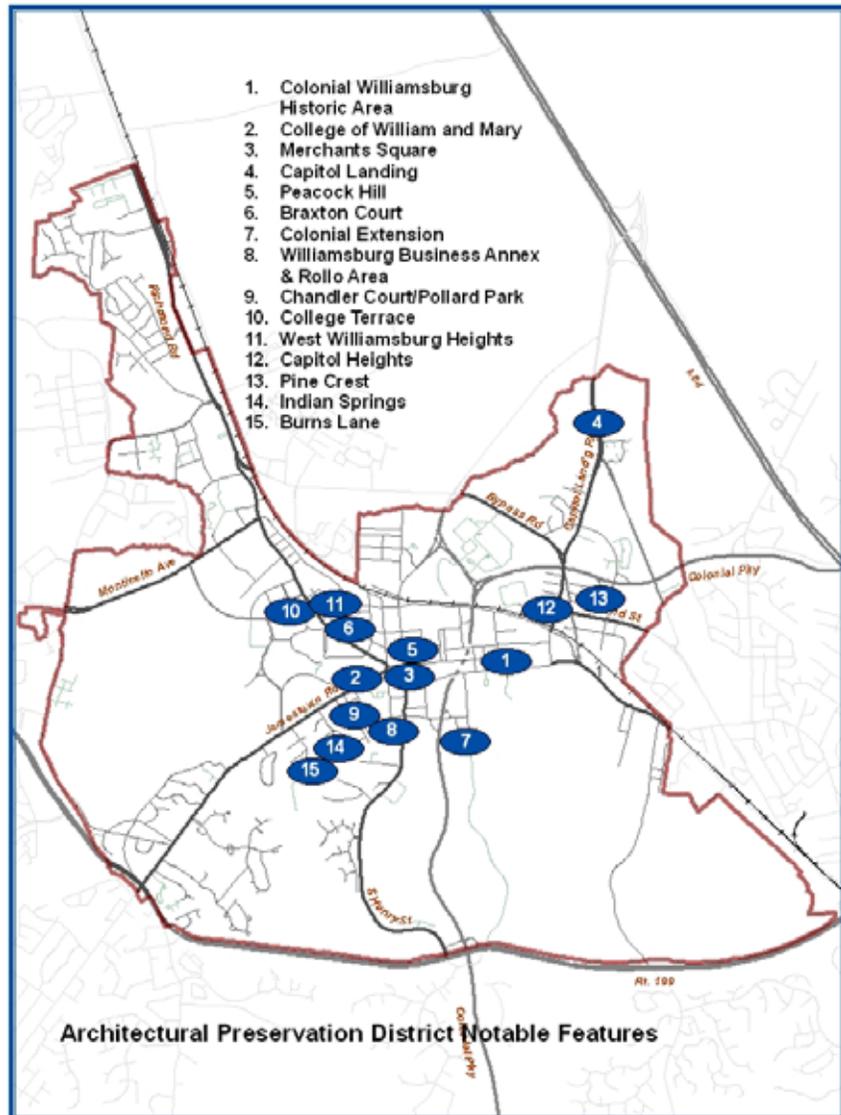
But Williamsburg has continued to grow and change since its beginning. A neighborhood of fashionable Victorian style houses, referred to as Peacock Hill, developed north of the City on the old Wheatland Farm following the coming of the C&O Railroad in 1881. The establishment of other nearby residential areas such as Chandler Court, College Terrace and West Williamsburg Heights followed during the 1920s and 1930s. Residential neighborhoods continued to develop around the Downtown as the Colonial Williamsburg restoration effort matured in the 1940s and 1950s. As the Downtown area evolved into a tourist destination, shopping centers followed the suburban movement away from downtown in the 1950's. Developments of the past 20 years have seen the continued outward expansion of the City's residential areas; expansion, infill and redevelopment of the commercial corridors; and major investments in the Downtown area including the development of the City Square area, the Prince George Parking Garage, College Corner Building, Municipal Building expansion, Tribe Square, The Cooke Building and Prince George Commons.

Williamsburg has been involved in design review since its founding. Governor Nicholson's standards for the colonial capital and the carefully researched standards used by the Colonial Williamsburg Foundation in its restoration efforts are noteworthy precedents. Since 1958, Williamsburg has had an architectural review board responsible for reviewing new construction in the City.

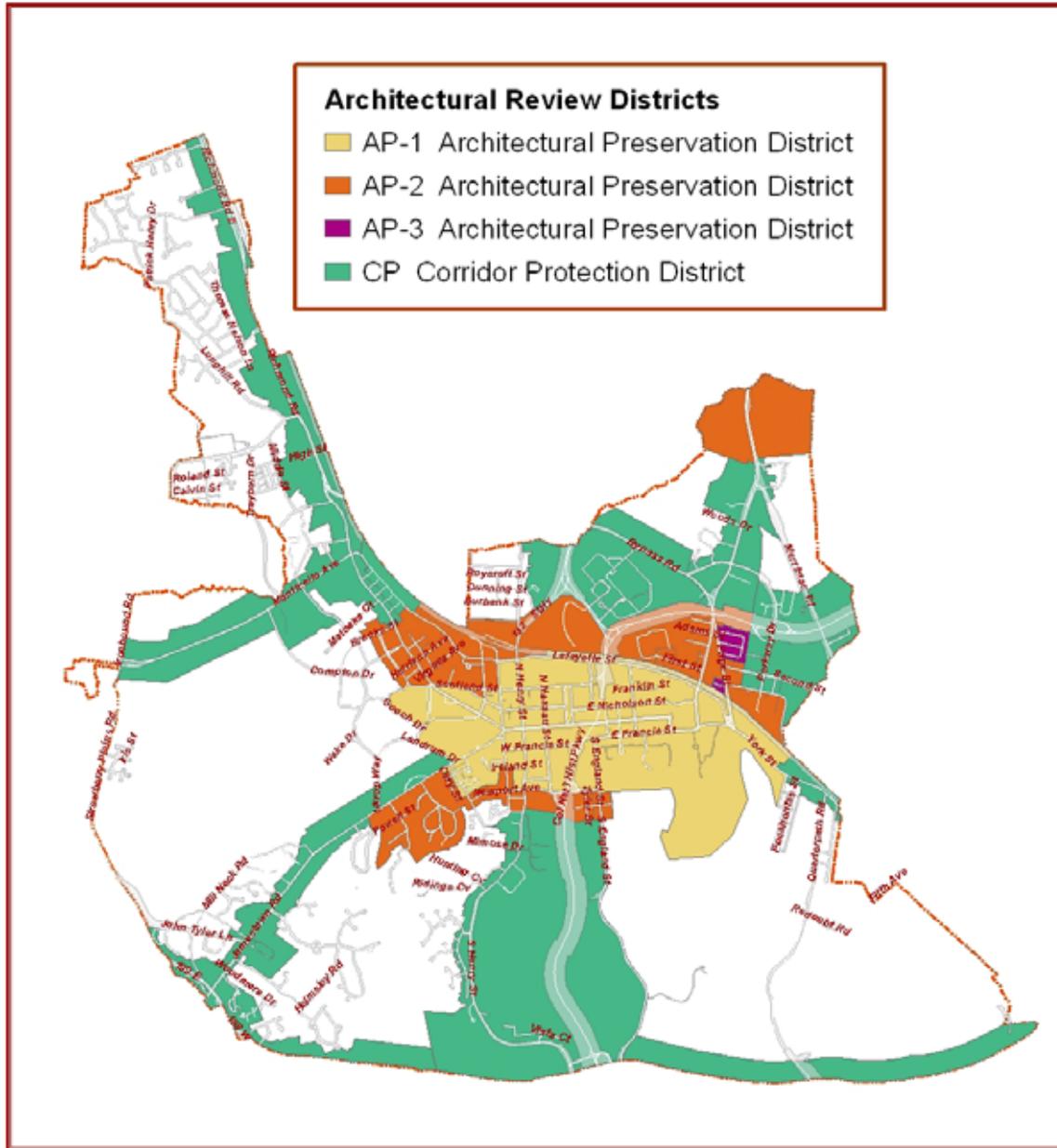
As recommended by the 1989 Comprehensive Plan, the City's historic preservation and design review efforts were strengthened based on Sec. 15.2-2306 of the State Code. This allows the designation of historic areas and areas of unique architectural value, as well as delineation of areas contiguous to arterial streets or highways that are significant routes of tourist access to these designated areas. The architectural review section of the Zoning Ordinance was revised in 1991 and established an Architectural Preservation District (AP) and a Corridor Protection District (CP). The Architectural Review Board's duties include: review of all new construction and alterations to existing buildings in the AP and CP districts, review of signs in both districts; and review of demolition and relocation of buildings in the AP district. In the spring of 1994, the City's preservation program was recognized by the Virginia Department of Historic Resources when Williamsburg became the 13<sup>th</sup> Certified Local Government in Virginia.

**Architectural Preservation District (AP)**

While many associate Williamsburg's image and history with the restored colonial capital, Merchants Square, the Colonial Parkway and the College of William & Mary, there are also many other buildings and neighborhoods that have evolved over time. These contribute to a sense of history as well as to the visual character of the community, and enhance the setting of the Colonial Williamsburg Historic Area. These include the neighborhoods of Braxton Court, Chandler Court and Pollard Park (both on the National Register of Historic Places), Peacock Hill, College Terrace, West Williamsburg Heights, the downtown Richmond Road and Jamestown Road area, and the 18<sup>th</sup> century port of Capitol Landing (on the Virginia Landmarks Register). These areas should be protected from adverse influences and new uses, structures and signs should be in keeping with the character of the district. These significant areas are located on the map *Architectural Preservation District – Notable Features*.



More details on the history and architectural character of each of these areas are contained in an appendix to the Design Review Guidelines.



**Corridor Protection District (CP)**

The major entrance corridors provide significant routes of tourist access to the Colonial Williamsburg Historic Area and are included in the design review process as Corridor Protection Districts. These routes are identified on the map *Architectural Review Districts*, and include the following streets: Richmond Road, Jamestown Road, Monticello Avenue, Lafayette Street, North and South Henry Street, Route 132, Visitor Center Drive, Bypass Road, Merrimac Trail, Capitol Landing Road, Parkway Drive, Second Street, York Street and Route 199.

Because these entrance corridors do not always neatly conform to jurisdictional boundaries, Williamsburg, James City County and York County need to work together to insure that corridor beautification efforts are coordinated. This was done in 2011 for the Route 60 East corridor that is detailed in the discussion of the York Street Entrance Corridor later in this chapter.

### **Architectural Inventory**

As recommended in the 1989 Comprehensive Plan, a survey and assessment of architectural resources in the Architectural Preservation District was completed in 1992. With the assistance of a matching grant from the Virginia Department of Historic Resources (DHR), a reconnaissance level architectural survey was conducted for all buildings over 50 years old in the AP district. The report from the survey identified 12 buildings and five districts for potential nomination to the National Register of Historic Places and the Virginia Landmarks Register. Based on the 1992 survey report, a listing of locally significant architecture and areas was created to assist the Architectural Review Board with their deliberations.

This 15 year old inventory is being updated, and detailed field work has been completed. The information needs to be entered into the DHR database to complete the survey update, and this work should be completed by 2013.

### **Architectural Review Guidelines**

The 1989 Comprehensive Plan recommended the preparation of Design Review Guidelines, which were first adopted in 1993. The Guidelines assist the Architectural Review Board in reaching fair and objective decisions when reviewing proposals in the AP and CP districts. In March 2006, a one-year review and update of the Guidelines was conducted by the Architectural Review Board, Planning Commission and City Council. This resulted in updated Guidelines which were adopted by City Council in 2006. This extensive review process ensured that the Guidelines reflect the City's goals for development and redevelopment as well as those for architectural preservation and design review. These Guidelines are the City's best tool for encouraging the preservation and improvement of its architectural character.

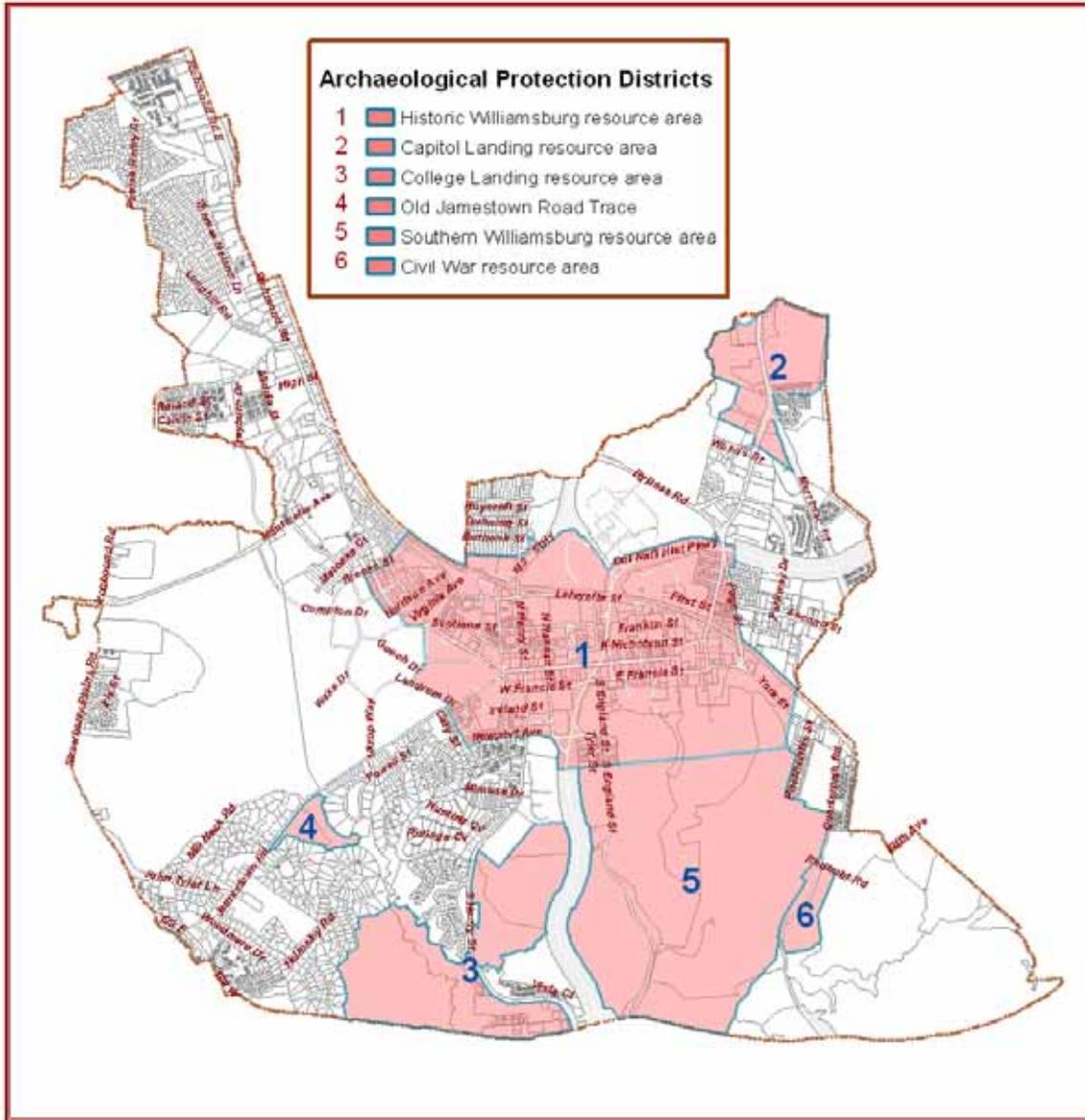
The guidelines are based in part on the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and distinguish between the different character of the AP and CP districts, and also between different parts of the AP District (AP-1, AP-2 and AP-3 Districts are designated). The most restrictive guidelines are in the AP-1 District adjacent to the Colonial Williamsburg Historic Area, the old campus of William & Mary, and the National Register Historic Districts of Pollard Park and Chandler Court. The Colonial Williamsburg Historic Area is the most important part of the AP district. To ensure that the integrity of this nationally significant resource is maintained for future generations, building projects are required to be based on documented historical and/or archaeological evidence. Development in the AP district is encouraged to be compatible with existing buildings and neighborhoods. In the CP district, development is encouraged which respects the overall character of the City and enhances the City's entrance corridors. Since it has been five years since the last review, an update of the Design Review Guidelines is needed as a part of the Comprehensive Plan implementation process.

### **Archaeological Preservation**

While the thrust of preservation activities in Williamsburg has centered on 17<sup>th</sup>, 18<sup>th</sup> and 19<sup>th</sup>-century American history, other remnants of Williamsburg's past still exist and can contribute toward an understanding and appreciation of the cultural landscape. Some of these prehistoric and historic resources include sites and structures occupied or used since the 17<sup>th</sup> century, as well as important 20<sup>th</sup> century sites. In order to determine the level of significance of these resources, the areas should be studied prior to any proposed development or redevelopment, and should be protected from adverse influences whenever possible.

The City's known significant archaeological resources were identified in a Resource Protection Planning Process (RP3) study conducted by the Colonial Williamsburg Foundation for James City County, York County and the City in 1985 (revised in 1990). The 1989 Comprehensive Plan recommended that these areas be studied for significant resources to provide a reasonable assurance that any future development or redevelopment in the City does not have an adverse impact on unidentified resources. As a means of identifying all documented historic archaeological resources and predicting prehistoric archaeological

resource areas in the City, an Archaeological Map Assessment Study was developed for the City by the Colonial Williamsburg Foundation.



As recommended in the 1989 Comprehensive Plan, an Archaeological Review section was added to the Zoning Ordinance in 1995. Five Archaeological Protection Districts were initially designated. These areas have been re-evaluated with assistance from the Colonial Williamsburg’s Department of Architectural and Archaeological Research, and new and re-adjusted districts are shown on the map *Archaeological Protection Districts*. The City’s Archaeological Review Districts map should be revised to reflect these changes as part of the Comprehensive Plan implementation.

The mechanism triggering archaeological review is the preparation of site plans and subdivisions within these districts. Archaeological surveys and evaluation reports must be undertaken as part of the development review process, with the Planning Commission acting as the archaeological review board. If significant archaeological resources will be adversely affected by the development project, the Planning Commission may require the modification of the site plan or subdivision plan to avoid the resources.

## **Williamsburg's Role in the Civil War**

At the outbreak of the American Civil War, Williamsburg was little more than a small southern college town with fewer than 2,000 inhabitants. The College of William & Mary and the Eastern Lunatic Asylum were the town's major institutions. In 1862 the Virginia peninsula between the James and York rivers became the corridor for the Union Army of the Potomac to advance on Richmond. Just east of town stretched the Williamsburg defensive line. The line consisted of 14 forts, commonly called "redoubts", which comprised the third Confederate line encountered by Federal troops during their advance toward Richmond. The Battle of Williamsburg was fought in wet and raw conditions on May 5, 1862. Nearly 20,000 troops fought within earshot of the town's inhabitants. Following the battle, the Confederate army continued its withdrawal toward Richmond, and Williamsburg fell under Federal martial law for the remainder of the war.

The development of plans for "Quarterpath at Williamsburg" by Riverside Healthcare System resulted in the construction of the 21 acre Redoubt Park on the east side of Quarterpath Road north of Tutter's Neck Pond. Redoubts #1 and #2, which supported the defense of Fort Magruder, have been preserved and interpreted as a part of the park. The setting of these redoubts beside historic Quarterpath Road should be preserved, and to this end it is proposed to convert the gravel portion of Quarterpath Road to a paved multiuse path, rerouting automobile traffic through the adjoining Quarterpath at Williamsburg development along Redoubt Road and Battery Boulevard. This is detailed in *Chapter 11 - Infrastructure*.

## **ENTRANCE CORRIDORS**

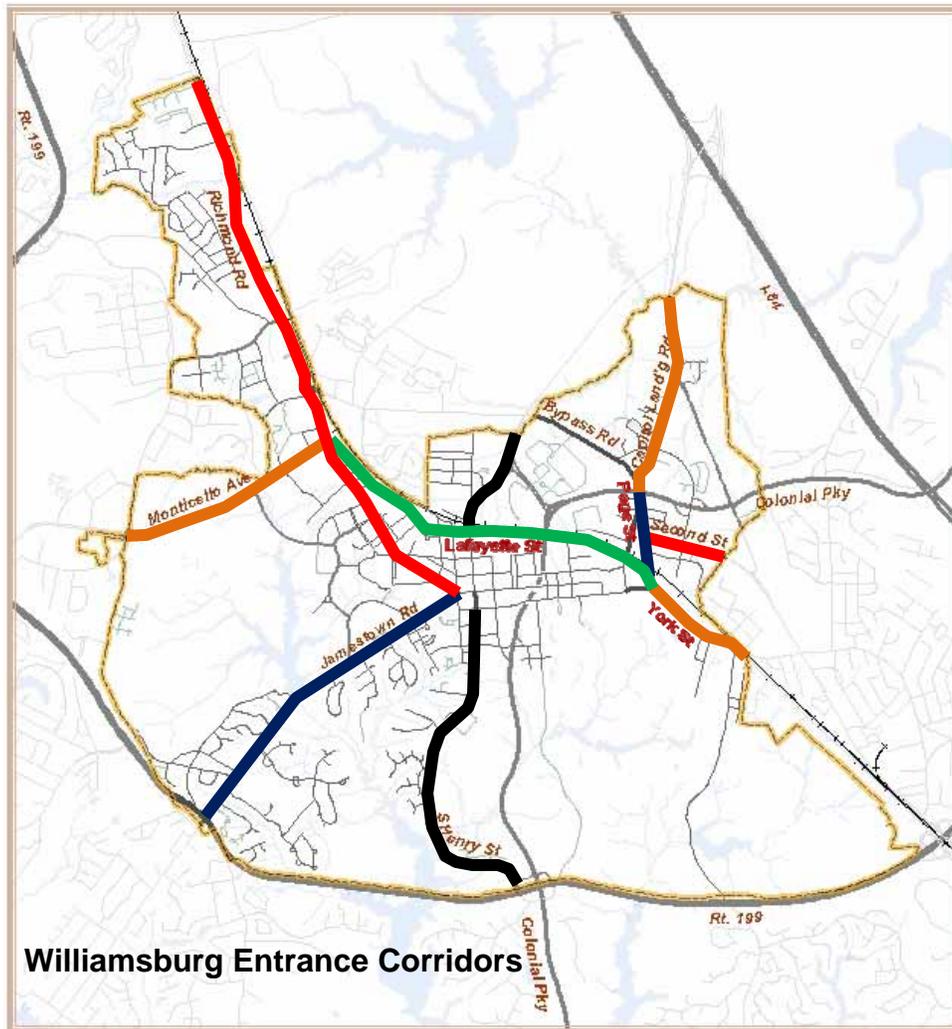
The City's ten entrance corridors present the initial character and image of Williamsburg to those traveling into the City, and are shown on the map *Williamsburg Entrance Corridors*:

- Richmond Road** from the City limits to College Corner
- Monticello Avenue** from Ironbound Road to Richmond Road
- Jamestown Road** from Route 199 to College Corner
- North Henry Street/Route 132** from Bypass Road to Lafayette Street
- South Henry Street** from Route 199 to Francis Street
- Capitol Landing Road** from Queen's Creek to the Colonial Parkway
- Second Street** from the City limits to Page Street
- Page Street** from the Colonial Parkway to York Street
- Lafayette Street** from Richmond Road to York Street
- York Street** from the City limits to Page Street

In 1994, the City commissioned LDR International, Inc. to prepare an *Entrance Corridor Beautification Study* to develop strategies, concepts and standards to promote the improvement and beautification of these corridors. Based on these standards, the following goals were established for the City's entrance corridors:

- Strengthen the concept of "gateway" and create a strong sense of arrival, offering a clear message that one is entering Williamsburg.
- Improve the functional and visual character of the corridors, while maintaining a balance between convenient vehicular access and a quality pedestrian environment.
- Achieve consistency in streetscape through simplicity of design, repetition of common landscape and streetscape elements, and placing of utilities underground.
- Implement street improvements with an appropriate scale and capacity to serve long-range traffic demands, while respecting the environment and scale of the surrounding neighborhoods.
- Support economic development by using publicly supported streetscape and landscape improvements to leverage and stimulate private investment.
- Promote intergovernmental cooperation to improve the City's major entrance corridors, recognizing that the visual quality of these entrances transcend jurisdictional boundaries.

- Reinforce standards contained in the Architectural Review Board’s Design Review Guidelines.
- Develop design standards for landscaping, sidewalks, lighting and other streetscape elements, and incorporate these standards into the City’s zoning regulations.



### Corridor Specifics

#### Richmond Road

Richmond Road is the City’s predominant commercial corridor, serving as a transition from James City County to the heart of the City at College Corner, where Richmond Road meets Jamestown Road at the College of William & Mary. Great strides have been made over the past 20 years to enhance this corridor, and the greatest accomplishment has been the undergrounding of overhead utility lines from College Corner to the Dominion Power Easement near the City limits. Only one-half mile of the three-mile corridor remains to be placed underground. Other recommendations that have been implemented include new street name and traffic signage, new City entrance signs, requiring monument signs for commercial uses, wider brick sidewalks and landscaping from Merchants Square to Scotland Street, planting a substantial number of trees in the median of the dual-lane section of Richmond Road west of the Dominion Power easement, and planting additional street trees from Brooks Street to New Hope Road.

A number of improvements are still needed for the Richmond Road corridor. These include minimizing and consolidating the number of curb cuts for commercial properties, planting additional street trees where possible, and continuing to encourage the elimination or reduction of parking in front of commercial buildings (as has been done with Red, Hot and Blue, Applebee's, Chili's, and the General Store).

#### Monticello Avenue

Monticello Avenue is a scenic entrance corridor into the City from the west, connecting directly to Route 199 and Route 5 in James City County. The importance of this corridor has increased because of the completion of Route 199, the construction of the Williamsburg-James City County Courthouse, the New Town development in James City County, and the designation of Monticello Avenue as the primary entrance to the College of William & Mary. Adequate greenbelts of at least 50 feet should be maintained along both sides of the road.

The Ironbound Road/Monticello Avenue intersection has been improved with new signage and landscaping identifying this entrance as an important gateway into the City. In the future, the wooded section of Monticello Avenue between Ironbound Road and Treyburn Drive should be improved as a "more refined parkway" without curb and gutter but with a multiuse trail connecting the College with New Town in James City County and with improved pedestrian connections to High Street and the Williamsburg & Monticello Shopping Centers.

The commercial section of Monticello Avenue, from Treyburn Drive to Richmond Road, has been greatly improved by underground wiring and landscaping, but may need additional improvements to accommodate additional traffic generated by redevelopment in the Midtown Planning Area.

#### Jamestown Road

Jamestown Road connects the Downtown area to Route 199 and Jamestown and serves as an important entrance from the southwest. Jamestown Road should continue to retain its residential character along its southwest portion, with commercial uses limited to the area around the Route 199 intersection. Lake Matoaka provides a clear transition between the southwest portion of the corridor and its terminus at College Corner, with the campus of the College of William and Mary located along the north side bordered by residential and residential scale buildings along the south side of the road.

The "campus" character should be retained along the north side, but new development on the William & Mary campus should be compatible with the residential image of the south side. The lack of a sidewalk on the north side of the street in front of the College's Phi Beta Kappa Hall interrupts the pedestrian flow along the corridor in the College area, and this gap should be eliminated. The new sidewalk and pedestrian crosswalk at the corner of Ukrop Way and Jamestown Road has improved the connectivity between the campus and students who live at Ludwell Apartments. The maintenance of the College properties on the south side of Jamestown Road from Cary Street to the Undergraduate Admissions Office should be improved, since their physical condition detracts from the well-maintained character of the rest of the corridor.

#### North Henry Street/Route 132

The North Henry Street/Route 132 corridor is a major access route from the north, connecting Interstate 64 with the Colonial Williamsburg Visitor Center and the Downtown. The portion of the route within the City (south of Bypass Road) retains its natural character because it follows the topography of the drainage swale, has little visible roadside development and has a heavily wooded edge.

The character of this corridor should be maintained by avoiding unnecessary pavement widening or excessive curb cuts. The City should continue to maintain the high quality landscaping at the northeast corner of North Henry Street and Lafayette Street, and the vacant lot on the southwest corner should be improved with landscaping and/or buildings as the City Square area is redeveloped.

### South Henry Street

South Henry Street is the major access route from the south connecting Route 199 with the Downtown. More importantly, the road section north of College Landing Park follows the historic route connecting Colonial Williamsburg with its southern port at College Landing on College Creek. The route retains much of its “country road” character with a natural landscaped edge and varied topography.

The gateway character of the South Henry Street/Route 199 intersection should be emphasized by protecting and enhancing the signage and landscaping in this area. The adjoining lower section of South Henry Street should continue to retain its rural character and the integrity of the historic route should be protected, and it should be continued to be designated as a greenbelt corridor. Views to College Creek, College Landing Park and the proposed Papermill Creek Park at the crossing of College Creek and South Henry Street should be emphasized through careful management of the roadside landscape. The mixed use character of the corridor from Mimosa Drive to Francis Street should be retained and enhanced, and redevelopment on the west side of the street between Mimosa Drive and Ireland Street should respect both the residential character to the south and the “campus” character of the National Center for State Courts and the College of William & Mary Law School.

### Capitol Landing Road

Capitol Landing Road serves as an important entrance into the City from the north, and follows the approximate location of the original eighteenth century road from Capitol Landing on Queen’s Creek into the Downtown. The present entrance corridor extends from the Route 143/Interstate 64 interchange in York County and continues across Queen’s Creek (the corporate limits) for approximately one mile until it meets the Colonial Parkway and Page Street. The northern section from Queen’s Creek to the Merrimac Trail intersection is predominantly undeveloped and wooded in character, while the remainder of the route to the Colonial Parkway is primarily commercial in character, with numerous opportunities for further development and redevelopment.

The section of the corridor from Queen’s Creek to the Merrimac Trail intersection is an important “gateway” into the City, and its importance will be increased as the land adjoining the corridor is developed. A cluster subdivision on the west side of Merrimac Trail called Queen’s Mary Port was approved for 41 lots in 2011. An important part of the design and approval was the provision of substantial landscape buffers along both Capitol Landing Road and Queen’s Creek. The Queen’s Creek buffer includes the future dedication of a conservation easement to the Williamsburg Land Conservancy to ensure its preservation. The majority of the road in this section is lined with mature trees and vegetation, and the greenbelt designation should be retained. The proposed future Capitol Landing Park at Queen’s Creek will further enhance the character of this corridor.

As the commercial portion of this corridor is developed and redeveloped, redundant entrances to individual parcels should be eliminated or consolidated. Underground wiring should be considered, with emphasis placed on removing cross street service lines. Sidewalks need to be extended toward Queen’s Creek when the areas west of the Merrimac Trail intersection are developed.

### Second Street

The Second Street corridor is dominated by auto-oriented commercial. The corridor was included in the *Richmond Road and Second Street Streetscape Study*, an in-depth analysis of the two commercial corridors that included specific recommendations for the visual improvement of the area. Suggestions included placing overhead utility lines underground, planting continuous street trees, improving the street lighting, screening of parking, new landscaping and signage. Based on this study, a specific streetscape plan for Second Street was developed and implemented in 1990-91.

There are several major parcels suitable for redevelopment east of Parkway Drive, which will present an opportunity to consolidate entrances and increase landscaping along the corridor. The placing of utilities underground should remain a future goal for this important corridor.

### York Street

York Street enters the City from the east, and is the City portion of Route 60 from Route 199 to Page Street. This corridor parallels the CSX Railroad tracks and supports several businesses and four major hotels. A large portion of the southern frontage is owned and used by the Colonial Williamsburg Foundation and is part of the Historic Area. The corridor terminates at the “Tri-Corner” intersection on York Street where Lafayette Street, Page Street and York Street intersect. In 1997, the City relocated the granite curb and widened the asphalt paving between Page and Lafayette Streets to accommodate truck turning movements. In addition, new brick sidewalks and painted crosswalks were installed. Placing obtrusive overhead wires underground near the Williamsburg/James City County line is included in the Capital Improvement Plan for 2017.

In 2011 coordinated efforts by the three jurisdictions to enhance the Route 60 Corridor along York Street in the City to Busch Gardens in James City County resulted in a detailed plan for corridor improvements prepared by Carlton Abbott and Partners (*Framework for the Beautification of the Route 60 Corridor - Colonial Williamsburg East To Busch Gardens*). In 2011 the three jurisdictions applied for a Virginia Transportation Enhancement Grant to implement this plan, but the grant was not funded. It will be resubmitted in 2013.

### Page Street

Page Street is not really an entrance corridor, but it provides an important connection between three other entrance corridors: Capitol Landing Road, Second Street and York Street. The section between the Colonial Parkway and Second Street is largely residential in character, and the east side of the street from Second Street to the CSX Railroad is commercial in character. There is a major redevelopment opportunity at the southeast corner of Page Street and Penniman Road, and the design for this area should be carefully reviewed because it is just across the railroad tracks from the eastern end of the Colonial Williamsburg Historic Area. Placing overhead wires underground between Penniman Road and Monumental Avenue is included in the Capital Improvement Plan for 2013. The character of Page Street is defined more by the buildings than the landscaping, and the Architectural Review Board should carefully evaluate plans for new and renovated building in this corridor.

### Lafayette Street

Lafayette Street, like Page Street, is not a formal entrance corridor. However, it provides an important connection between York Street and Richmond Road. The western end is anchored by the Arts and Cultural District in the Midtown Planning Area and the eastern end is defined by the Colonial Williamsburg Historic Area. This corridor traverses residential neighborhoods, the Williamsburg Municipal Center, Matthew Whaley Elementary School, and the Historic Area. Landscaping has been installed along the CSX Railroad between Henry Street and Botetourt Street to beautify the area between the street and the railroad, and across the street the rear yard of Matthew Whaley Elementary School has been defined by a decorative fence and landscaping creating a well-defined street edge. The most noticeable future changes for this corridor will be in the Arts and Cultural District, which was established by City Council in February 2011 as a way to encourage and enhance the City’s creative economy as an economic development initiative.

## **BEAUTIFICATION ADVISORY COMMITTEE**

The Beautification Advisory Committee provides advice to Planning Commission and City Council on beautification issues, and has been meeting at least four times a year for over 20 years. In the last year, the Committee has created a vision to enhance the City’s character by encouraging individuals to get out of their vehicles and enjoy the City by foot and bicycle. They strongly recommend outdoor dining areas, wider sidewalks, pedestrian crosswalks, bike lanes, adequate lighting and colorful plantings in commercial and public areas to encourage visitors to return to Williamsburg. They suggest that a cohesive design for the streetscape be developed to include sidewalks, street lights, trash cans, bike racks,

benches, signage and landscaping. Reducing on-street parking and creating a pedestrian friendly downtown is also strongly recommended.

In the past five years, the Beautification Advisory Committee has prepared the following beautification projects:

- Plantings along the CSX tracks on Lafayette Street from North Henry Street to Botetourt Street.
- A landscape design for Prince George Street from Armistead Avenue to Scotland Street which includes new sidewalks and fencing.
- Encouraging development of a landscape design and wider sidewalks for Richmond Road from Merchant's Square to Scotland Street to further enhance the walk ability of this area.
- Creating a landscape grant program for neighborhoods to use to beautify their entrances in the City by applying for a grant up to \$500 towards plant material.

The Beautification Advisory Committee's Vision Statement is included as Appendix A3.