

# CITY OF WILLIAMSBURG

## DESIGN REVIEW GUIDELINES



Adopted by City Council on October 10, 2013

**CITY OF WILLIAMSBURG  
PLANNING DEPARTMENT**  
401 Lafayette Street  
Williamsburg, Virginia 23185-3617  
757.220.6130  
[planning@williamsburgva.gov](mailto:planning@williamsburgva.gov)

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Prepared by the Architectural Review Board and recommended adoption by the Architectural Review Board on August 8, 2013, Planning Commission on September 18, 2013 and adopted City Council on October 10, 2013 (Ordinance #13-31).

## TABLE OF CONTENTS

<u>CHAPTER</u>	<u>TITLE</u>
I	EXECUTIVE SUMMARY
II	AESTHETIC OBJECTIVES
III	INVENTORY OF ARCHITECTURAL STYLES
IV	DESIGN REVIEW DISTRICTS
V	ARCHITECTURAL PRESERVATION DISTRICTS
VI	CORRIDOR PROTECTION DISTRICTS
VII	SIGNS
VIII	AWNINGS
IX	REHABILITATION
X	RELOCATION
XI	DEMOLITION
XII	APPENDIX 1. Located on or Eligible for National Register of Historic Places 2. Buildings 50 Years Old or Older 3. The Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings 4. Architectural Review Board Application Procedures 5. Architectural Review Board Bylaws 6. Zoning Ordinance – Architectural Review 7. Glossary of Terms
XIII	Bibliography

## CHAPTER I EXECUTIVE SUMMARY

It is the intent of the *Design Review Guidelines* to remove the mystery from the design review process by providing some measure of predictability for property owners to ensure that Architectural Review Board decisions are objective and consistent for building and sign projects in the **Architectural Preservation Districts** and **Corridor Protection District**. In these *Design Review Guidelines*, the Architectural Review Board has transcribed the design review and community preservation goals which have evolved over time into a clear, concise and usable format.

The creation of *Design Review Guidelines* for the Architectural Review Board was recommended by the 1989 Comprehensive Plan and the 1991 Zoning Ordinance. The nature of the guidelines follows the directive of the Architectural Review Article of the 1991 Zoning Ordinance and subsequent amendments to enhance the quality of life for all by preserving the character and desirable aesthetic features of the City ensuring that new development is compatible. The special character-defining features of the City were identified schematically in the Comprehensive Plan and specifically in the 1992 Architectural survey report. The 2013 Comprehensive Plan recommended that the inventory and assessment be updated to include buildings that are 50 years old or older since the last survey in 1992.

Buildings and neighborhoods listed on or eligible for the *National Register of Historic Places*, and other buildings 50 years old or older, are designated on individual lists (Appendix 1 and Appendix 2). These lists are based on the 1992 survey performed by Frazier and Associates and the recent staffs update identifying buildings 50 years old or older in the City. Based on National Register criteria Frazier and Associates recommended potential individual buildings and neighborhoods that would qualify as historic districts on the National Register of Historic Places. The purpose of the inventory of buildings and neighborhoods listed on or eligible for the *National Register of Historic Places* is not to mandate preservation and protection of the listed property, but to alert the Architectural Review Board to the fact that the property has some significance in defining the City's character in representing architectural styles and cultural periods from the City's past, and, in particular, that the property contributes to the character of the neighborhood and surrounding area. When the Architectural Review Board reviews development proposals for the site of a listed property or property in the vicinity of a listed property, the Architectural Review Board considers the character of the property, the role it plays in the surrounding area, and the value of preservation of the resource, and weighs it against the current state of the property and the surrounding area and the proposal for alteration or redevelopment of the site. If the property in its current state has lost much of the integrity which made it significant or contributory, and if the proposed new development would improve the character of the surrounding area, the Architectural Review Board may decide that alteration or redevelopment of the site is appropriate and perhaps preferable to retaining the building in its present state or in a restored state. Another purpose of the Listing is to alert the Architectural Review Board that when it determines that a listed property cannot be

retained in the face of present development patterns, it should be documented prior to removal or dramatic alteration.

As recommended by the Comprehensive Plan, the guidelines are compatible with the Secretary of the Interior's *Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings* and follow precedent set by the State and other communities which use the Secretary's Standards as the basis for their preservation programs and local design review guidelines.

## **HISTORY OF DESIGN REVIEW IN THE COUNTRY, VIRGINIA AND WILLIAMSBURG**

The first comprehensive preservation ordinance in the Country was enacted by Charleston, South Carolina in 1931. On the federal level, Congress passed the Historic Sites Act in 1935, advocating historic preservation as a national policy for federal agencies. The current national preservation program was enacted into law as the National Historic Preservation Act of 1966, with subsequent amendments. The first preservation law in Virginia was enacted by the City of Alexandria in 1946. Virginia State enabling legislation for historic preservation was enacted in 1950, with subsequent amendments.

The City of Williamsburg first adopted a preservation ordinance in 1947 when the Colonial Williamsburg Historic Area was adopted as an overlay zoning district, requiring all reconstruction projects and land uses to be reviewed by the Board of Zoning Appeals on a case-by-case basis. In 1958, the City adopted a comprehensive architectural review ordinance for the entire City, which established Williamsburg's first architectural review board, the Board of Architectural Consultants. The 1991 Zoning Ordinance was amended to reflect State Code requirements for architectural review. A comprehensive set of design guidelines were adopted with Architectural Review Districts and Corridor Protection District to bring the City into compliance with State regulations for architectural preservation and review.

According to the Virginia Department of Historic Resources, by 1957 approximately 11 communities in the Country had enacted preservation ordinances. With ordinances dating from 1947 and 1958 the City of Williamsburg was among the first three localities in Virginia, with Alexandria and Richmond, and one of the earliest communities in the Country to adopt a comprehensive architectural review ordinance as a means of promoting historical preservation and general welfare.

There are approximately 72 architectural review boards and over 500 Virginia Landmarks Register (VLR) and National Register of Historic Places (NRHP) districts in Virginia. The perception that location in architectural review districts decreases property values, espoused by some property owners, is refuted by the experience of such cities as Alexandria, Fredericksburg, and Richmond. Historic districts around Virginia attract tourism, property owners, and reinvestment tax income to the host community. When a community becomes a more attractive place to visit, live and conduct business, the value of real property rises and the quality of life for all is enhanced. Designating

architectural review districts ensures that the community's special character is preserved and enhanced. The City of Williamsburg supports the efforts of the Colonial Williamsburg Foundation to create and maintain a superior environment for the Historic Area and reinforces a commitment to attract and retain visitors, residents and businesses.

### **APPROVAL OF NEW MATERIALS**

The Architectural Review Board will continue to review new materials on a regular basis. New materials may be presented to the Board during any regular meeting, and should include a sample of the material and the manufacturer's specifications for the material. If the Board determines that the ***Design Review Guidelines*** should be amended to include the new material, the Board may initiate an amendment to the Guidelines in accord with Article IX, Architectural Review, Sec. 21-853(h), of the Zoning Ordinance.

## CHAPTER II AESTHETIC OBJECTIVES

The guiding principle behind the *Design Review Guidelines* is to enhance the quality of life for all residents and visitors to the City by preserving the character and desirable aesthetic features of the community. In order to ensure that this character is preserved, it is necessary to protect significant features from destruction and to ensure that new projects in the City do not detract from the identifiable character of the community. New construction projects and substantial renovation projects should respect the scale, materials, massing and setbacks of neighboring buildings and the overall streetscape. New construction should preserve and enhance the natural features present on the project site and along the street. Signs and awnings should be designed to enhance the visual image of the property and to complement the existing conditions along the street.

### ARCHITECTURAL PRESERVATION DISTRICTS

Design review within **Architectural Preservation Districts** is intended to protect buildings from inappropriate renovations, to create an atmosphere for compatible future growth, to prevent the intrusion of adverse environmental influences, and to assure that new buildings and uses will be in keeping with the character of the various older neighborhoods within the **Architectural Preservation Districts**. In particular, it is the intention to protect the integrity of the Colonial Williamsburg Historic Area and to avoid the confusion and dilution caused by construction of buildings, within ¼ mile of the Historic Area boundaries, which replicate the eighteenth-century buildings in the Historic Area.

New construction should be compatible with other buildings in the district and need not imitate existing buildings in order to be compatible. Well-designed buildings that respect the scale and character of existing buildings but in a modern idiom can be successful infill projects in older neighborhoods. Additionally, new construction projects should be designed for the specific siting within the City of Williamsburg and should avoid designs, which exemplify a company's corporate design image without regard for the project setting.

### CORRIDOR PROTECTION DISTRICT

Design review within the **Corridor Protection District** is intended to protect and enhance the special character of the **Architectural Preservation Districts** including the Colonial Williamsburg Historic Area by ensuring that the major access routes to the City are developed and maintained in a harmonious and compatible manner. The intent is to encourage the improvement of the architectural and visual character of these major entrance corridors, to prevent the intrusion of adverse environmental influences, and to create an atmosphere for compatible future growth. It is important that new construction designs are of the highest quality in design and materials and reflect the unique character of Williamsburg.

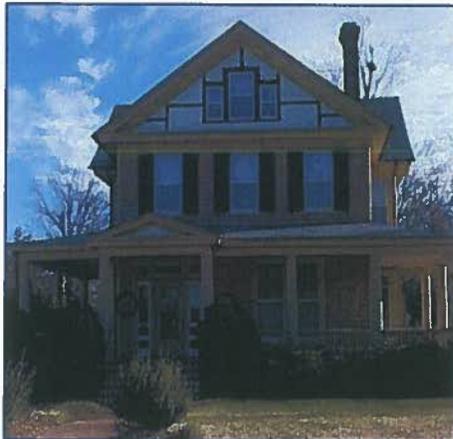
## CHAPTER III INVENTORY OF ARCHITECTURAL STYLES

The following section identifies the prevalent older architectural styles found in the City which date after the Colonial period and describes the architectural elements which characterize each style. When proposing a change to a building in **Architectural Preservation Districts**, the applicant should consider this stylistic information to ensure that the new design is sympathetic with the architectural characteristics of the existing building.

### QUEEN ANNE STYLE

With the exception of two antebellum mansions and a few vernacular houses from the early through the late 19<sup>th</sup> century, the oldest surviving non-Colonial architectural buildings in Williamsburg are a few late-nineteenth century and turn of the century Victorian houses in Peacock Hill and in the Colonial Extension subdivision. These houses exhibit the characteristics of the “free classic adaption” sub-style of the **QUEEN ANNE STYLE**. The houses are generally two-story frame houses with cross side gables, wide porches, and simple classical or restrained Queen Anne decorative details. A few houses along Scotland Street and North Henry Street do exhibit more elaborate decorative details along the eaves and through the use of contrasting siding materials.

- ROOF:** Hipped with lower cross gables (usually with a dominate front-facing gable, side gables, and sometimes a corner tower), Full-width front gable, Cross gables only, or Hipped with large front-facing gabled dormer; slate or tin shingles; classical cornice and pediment gables.
- SIDING:** Weatherboards with shingles at upper story or in gables or sometimes mock half-timbering in gables, or weatherboards only.
- WINDOWS:** Two-over-two, one-over-one, or sometimes six-over-six or crescent or Palladian gable windows and shutters sometimes.
- DOOR:** Glazed or six-panel with sidelights and/or transom.
- COLOR:** Muted earth tones with contrasting trim and decorative details.
- PORCH:** Full width, or wrap-around, deep porch with small gabled pediment over steps and classical, carpenter gothic, or Queen Anne spindled details.



Charlotte Brooks House (1910)  
245 North Henry Street



Lawson House (1907, R-2007)  
411 Scotland Street

## **BUNGALOW**

A substantial collection of early twentieth century **BUNGALOWS** are located along Capitol Landing Road, the eastern portion of the West Williamsburg subdivision, Braxton Court, in the area around Jamestown Road and Griffin Avenue, and scattered about in other neighborhoods surrounding the Historic Area. These low, one-and-one half story narrow houses were sided with wood shingles or weatherboards, have low gable, hip or hipped gable roofs, wide overhangs and exposed roof rafter tails along the eaves, and deep porches across the façade. Most of these survivors have lost original decorative siding and window details, but a few good examples remain on Capitol Landing Road and Richmond Road.

**ROOF:** Low side gables with shed or gable dormer in front, Front gable without dormer, or Hip with hipped gable dormer in front; wide roof overhangs along with eaves and over the gables; exposed roof rafter tails; wood or asphalt shingles.

**SIDING:** Shingles or weatherboards.

**WINDOWS:** Six-over-one, one-over-one.

**DOOR:** Glazed.

**COLOR:** Muted earth tones stain with white trim and rafter tails.

**PORCH:** Full width deep porch inset under roof or attached gable or hip-roof porch; supported by simple square columns or square



columns on piers.

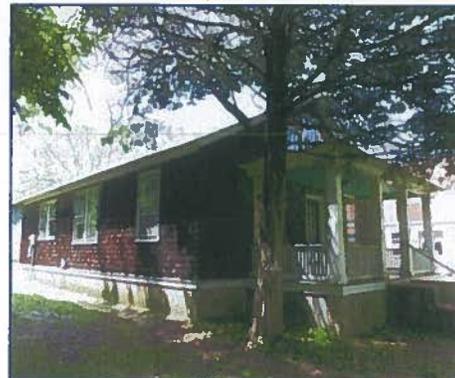
Johnson House (1926, 98) – 500 Capitol Landing Road



1001-A Richmond Road



Reinecke House (1935) – 702 Capitol Landing Road



TAWA House (1930) 408 South Henry Street

## **AMERICAN FOURSQUARE**

A smaller collection of early twentieth century **AMERICAN FOURSQUARE HOUSES** have survived and are located in Peacock Hill, the area to the west of Peacock Hill along Richmond Road and Armistead Avenue, the Colonial Extensions subdivision, and along the upper portion of Jamestown Road. These boxy, two-story frame or masonry houses have hip or occasionally gable roofs, were sided with shingles and/or weatherboards, have wide porches, are two, three, or four bays wide, and often have a small dormer on each hip roof façade.

- ROOF:** Hip with hipped-gable dormer in front or on all sides; interior chimneys with occasionally one central interior chimney at the peak of the hip roof; tin or slate shingles.
- SIDING:** Weatherboards or weatherboards with shingles at upper story over belt-course.
- WINDOWS:** Six-over-one, one-over-one.
- DOOR:** Glazed.
- COLOR:** Muted earth tone, with lighter trim, or pale “colonial” colors.
- PORCH:** Attached full width porch with hipped roof supported by square columns or square columns on piers.



**Pittman House (1916) – 503 South England Street**



**Funke House (1910) – 404 South England Street**



**Willie Baker House (1915, R1929) – 528 Tyler Street**



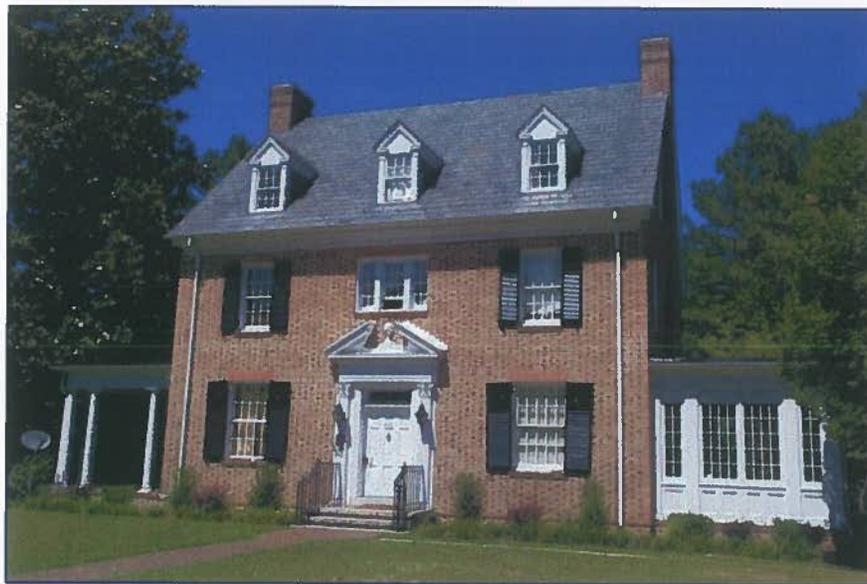
**Bull House (1920) WM - 199 Armistead Avenue**

## **COLONIAL REVIVAL**

Most of the surviving older architectural structures outside the Colonial Williamsburg Historic Area are **COLONIAL REVIVAL** houses. This popular style began to appear in the City's outlying neighborhoods at the turn of the century and gained popularity in the late 1920's and 1930's and post-World War II era. Colonial Revival houses in Williamsburg have four basic forms: one-and-one-half story multi-dormered gambrel (Virginia Gambrel), one-and-one half story full-dormered gambrel (Dutch Colonial Revival), two-story gable, and one-and-one half story multi-dormered gable. The earliest examples of the "**Two-story gable**", "**Dutch Colonial Revival**" gambrel and "**Virginia Gambrel**" houses reflect the influence of national building trends and the builders' guides and catalogs of local builders. These houses have an abundance of classical architectural details, i.e. Palladian windows, dentil or modillion cornices, columns and pediments, sidelights and fanlights around doorways, and casement windows. Examples of this form can be seen in West Williamsburg Heights, College Terrace, Richmond Road, Jamestown Road, Chandler Court, Pollard Park, Indian Springs, Burns Lane and Capitol Landing Road.

### **TWO-STORY GABLE COLONIAL REVIVAL STYLE – 1900 to 1940's**

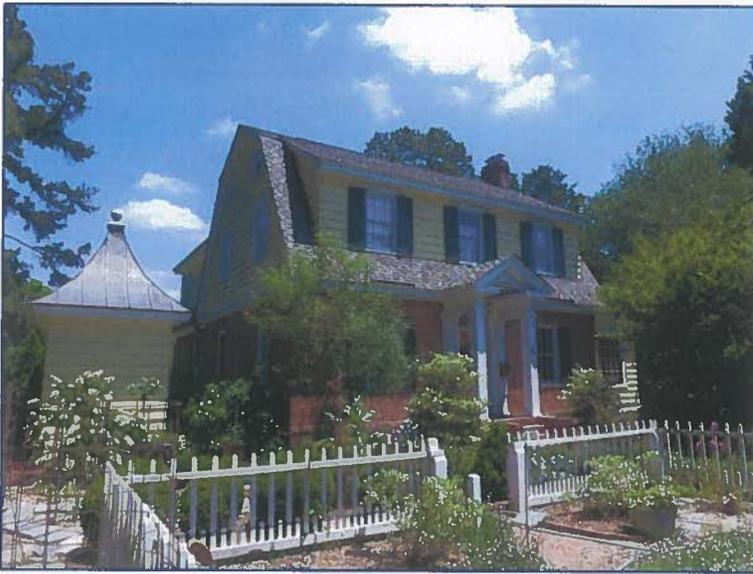
- ROOF:** Gable or Hipped roof; classical cornice, slate or asphalt shingles.  
**SIDING:** Weatherboards or brick.  
**WINDOWS:** Six-over-six, eight-over-eight, six-over-one, eight-over-one, classical proportions; Palladian accents and/or paired arcs in side gables; shutters.  
**DOOR:** Six-panel; classical door-surrounds; sidelights and/or fanlights.  
**COLOR:** White or pale "colonial" colors with dark shutters  
**PORCH:** Gable pediment hood or portico over stoop; side enclosed sunroom and/or side porch.



Jerome H Casey House (1929) – 711 Richmond Road

### DUTCH COLONIAL REVIVAL STYLE – 1920's to 1930's

- ROOF:** Over-hanging gambrel with full-width shed dormer in front; slate shingles.  
**SIDING:** Brick, weatherboards or sometimes shingles.  
**WINDOWS:** Six-over-six; eight-over-eight; six-over-one; eight-over-one; classical proportions; shutters.  
**DOOR:** Six-panel; classical door-surround; sidelights and/or fanlight.  
**COLOR:** All white, dark shutters and roof; or pale "colonial" colors.  
**PORCH:** Arched or gable pediment hood, or portico, or full-width porch inset under roof, or attached with shed roof.



**Harris House (1931) – 605 College Terrace**



**George Rollo House (1922) – 501 Newport Avenue**

**VIRGINIA GAMBREL COLONIAL REVIVAL STYLE – 1930's to 1940's**

- ROOF:** Over-hanging gambrel; two, three or four dormered windows in line with front fall of house; end chimneys; slate shingles.
- SIDING:** Brick, weatherboards or sometimes shingles.
- WINDOWS:** Weatherboards; brick end walls, occasionally.
- DOOR:** Six-panel; classical door-surround; transom, occasionally.
- COLOR:** All white, dark shutters and roof.
- PORCH:** None.



**Smith House (1940) – 608 Pollard Park**



**(1938) - 614 College Terrace**

Later Colonial Revival houses of the Post-World War II era have simpler forms and fewer architectural details. The most prevalent form of this period is the “**One-and One-Half-Story Gable**”. The largest concentrations of this form can be seen in Pinecrest and West Williamsburg subdivisions.

### ONE-AND-ONE HALF STORY GABLE

- ROOF:** One-and-one-half-story gable with two gable dormers in front; classical cornice; end chimneys on more stylized examples; slate or asphalt shingles.
- SIDING:** Weatherboards or shingles; brick end walls; occasionally.
- WINDOWS:** Six-over-six; six-over-one; shutters.
- DOOR:** Six-panel; classical door-surround and sometimes transom..
- COLOR:** White or pale “colonial” colors with dark shutters.
- PORCH:** Occasionally, gable pediment hood over stoop.



(1947) – 712 Monumental Avenue

More recent Colonial Revival houses have directly imitated buildings and features found in the Colonial Williamsburg Historic Area or exhibit more of a **Georgian Revival** style appearance. Examples of the Georgian Revival styles are evident in Yorkshire and The Woods, outside the APD, and examples of both the Historic Area imitations and the Georgian Revival style are appearing throughout the City as infill and older neighborhoods.

## **VERNACULAR**

An often overlooked collection of architectural structures are the late nineteenth-century and early twentieth-century **VERNACULAR** houses which exist as isolated rural houses and which are prevalent in surviving historic African-American and working-class neighborhoods in the City. Surviving examples within the **Architectural Preservation Districts** can be found in Braxton Court, in the area west of Peacock Hill, at the western end of the West Williamsburg subdivision, along South Henry Street, and scattered about the outlying areas of the old City. These small, simple frame houses appear in a wide variety of forms from elegant little shotgun-type bungalows and cross gable houses to awkward two-story gable houses to simple, functional, additive form houses.



**Frank Powell House (1840-69) – 520 Jamestown Road**



**Skillman House (1900, R-1950) – 110 Brooks Street**

A growing number of houses in the City are being designed in a non-Colonial Revival, modern style. A few examples of modern houses are located in **Architectural Preservation Districts** in Pinecrest, Capitol Heights, College Terrace, West Williamsburg, Indian Springs, the lower end of Burns Lane and along Griffin Avenue. Most of the modern houses are located outside **Architectural Preservation Districts** in outlying subdivisions of the City, such as Matoaka Court, Skipwith Farms, Forest Hills, the Wales subdivision, end of Burns Lane, and the Ludwell Place Subdivision. Examples of the **RANCH HOUSE** and **SPLIT LEVEL HOUSE** styles, which became popular in the 1950's, are present throughout these neighborhoods. A smaller number of **Modern** styles house, which became popular in the 1960's and 1970's are scattered about these neighborhoods. With the majority of the examples of this style present outside **Architectural Preservation Districts**. An even smaller number of houses in the City are of the **CALIFORNIA SHED** style, which became popular in the 1970's and 1980's. Examples of this style are mainly confined to The Coves and the Walnut Hills area, but isolated examples can be found scattered about the City. The most recent variety of modern houses found in the developing subdivision at Port Anne might be called **ABSTRACT HISTORICAL ECLECTIC**. These houses are asymmetrical, multi-volume forms sheathed in a multitude of abstracted historical motifs but borrowing mainly from the Colonial Revival and Queen Anne traditions.



**Auburn House (2012) – 1 Corbin Close**

## **CHAPTER IV DESIGN REVIEW DISTRICTS**

While many associate Williamsburg's image and history with the restored colonial capitol, Merchants Square, the Colonial Parkway and the College of William and Mary, the City is also blessed with numerous other buildings, neighborhoods and roads that have evolved over time and contribute to a sense of history as well as to the visual character of the community. The City's 2013 Comprehensive Plan outlines a program of preservation and design review to ensure that the special character of the City is preserved and maintained for the future. Two types of design review districts exist in the City and are described in further detail in the following section.

### **ARCHITECTURAL PRESERVATION DISTRICTS**

In the **Architectural Preservation Districts**, the Architectural Review Board will review all construction, rehabilitation, relocation, demolition, and signage with the exclusion of the State properties of the College of William and Mary. It is the intent of these districts as outlined in the 2013 Comprehensive Plan and the 1991 Zoning Ordinance to protect these areas from adverse influences and to ensure that new uses, buildings and signs shall be in keeping with the character of the district.

The boundaries for the **Architectural Preservation Districts** (APD) were suggested by the 1989 Comprehensive Plan and developed based on further field study and have been modified with the updates to the *Design Review Guidelines*. The APD's encompass all of the older residential neighborhoods and historic sites in the City and the City's National Register sites; the Colonial Williamsburg Historic Area, the Old Campus of the College of William and Mary, Merchant's Square and Resort Historic District, Chandler Court, Pollard Park, and the sites of the colonial ports at College Landing and Capitol Landing. The 15 residential neighborhoods include: West Williamsburg, West Williamsburg Heights (including the Arts and Cultural District), College Terrace, Braxton Court, Downtown, Crispus Attucks, Pollard Park, Chandler Court, Cary/Griffin/Newport area, Indian Springs, Burns Lane, Capitol Extension, Capitol Heights, Pinecrest and Penniman/Second Street. (The major areas of the APD's are identified on the Architectural Review Districts map.) These numerous areas and features contribute to the historic, architectural and cultural image of the community and enhance the architectural excellence and historic importance of Colonial Williamsburg.

A Listing of Locally Significant Architecture and Areas in Williamsburg was created to assist the Architectural Review Board in recognizing the important elements, which help define the City's character. The Listing was created based on the results of an architectural survey of the **Architectural Preservation Districts**, which was conducted by Frazier Associates of Staunton in 1992 and was partially funded by the Virginia Department of Historic Resources. The Listing has been updated by staff in 2013 to include all buildings that have reached 50 years of age since the

original survey by Frazier Associates in 1992. The Listing includes neighborhoods, which the survey report identifies as potentially eligible for inclusion on the National and State Registers of Historic Places.

There are 1,346 buildings in the City's **Architectural Preservation Districts** (Chapter XII, Appendix 2). This list has been updated to include all occupied buildings in a neighborhood and their construction date (buildings 50 years or older are highlighted in bold). This gives a better understanding of how the City and its neighborhoods have developed over time. Included among those listed, as suggested by the survey report, are all properties within areas recommended eligible for historic district status on the National and State Registers, such as Braxton Court, College Terrace, Prince George Street Commercial District, and West Williamsburg Heights. Since 1991, the two neighborhoods of Chandler Court and Pollard Park, and the Merchants Square and Resorts Historic District, have been added to the National Register of Historic Places.

16 American Foursquare	35 Bungalows
16 Cape Cod	94 Colonial Era Buildings
294 Colonial Revival	7 Cottages
26 Dutch Colonial Revivals	22 Georgian Revival
456 Historical Reconstruction	34 Modernism
8 Queen Anne	30 Ranches
2 Tudor Revival	278 Vernacular
4 Victorians	13 Virginia Gambrel

Those listed above and various other styles are noted in Chapter XII, Appendix 2.

### **CORRIDOR PROTECTION DISTRICT**

In the **Corridor Protection District**, the Architectural Review Board will review all construction and signage with the exclusion of State properties of the College of William and Mary. It is the intent of this district as outlined in the Comprehensive Plan and the Zoning Ordinance to protect and enhance the special character of the Colonial Williamsburg Historic Area and the **Architectural Preservation Districts** by ensuring that the major access corridors to these areas are developed and maintained in a harmonious and compatible manner.

The boundaries and locations of the **Corridor Protection District** (CPD) were suggested by the State Enabling Legislation and the Comprehensive Plan and are located along the major entrance corridors of the City and are identified on the Architectural Review Districts map. The CPD is located along: Richmond Road (west of City Green); Monticello Avenue; Jamestown Road (south of 718 Jamestown Road); Route 199: Route 132 (north of Dunning Street and By Pass Road; Merrimac Trail (east of Woodshire) and Second Street (east of 134 Second Street; South Henry Street (south of Boundary Street); Capitol Landing Road (north of the Colonial Parkway) and York Street (east of Clarion Hotel). It is also the intent of these

districts to encourage the improvement of the architectural and visual character of these major corridors, and to encourage development that is compatible with the character of the **Architectural Preservation Districts**.



**City of Williamsburg, Virginia**

**Architectural Preservation and Protection Districts**

**ARB Districts**

- AP-1 Architectural Preservation District
- AP-2 Architectural Preservation District
- AP-3 Architectural Preservation District
- CP Corridor Protection District

**Official Zoning Map  
Part 2 of 3: Architectural Review Districts**

Map set contains:  
 Sheet 1: Zoning Districts  
 Sheet 2: Architectural Review Districts  
 Sheet 3: Archaeological Review Districts

Scale: 1:28,800 (1 in = 2400 ft)  
 Source: CityGIS, L.V. Mapping/Planning/Zoning  
 Zoning: 28800B and  
 Last Edit: 1/23/2013  
 Plot Date: 10/14/2013

DWG MAP IS NOT A LEGAL PLAN  
 It is not suitable for detailed site planning and should be used for  
 information purposes only.

Adopted by City Council on			
ORD. NO.	DATE	ORD. NO.	DATE
13-11	10/09/13		
13-31	10/19/13		

*City Clerk, Clerk of Council*

Zoning2-28800B 10/14/2013

## CHAPTER V ARCHITECTURAL PRESERVATION DISTRICTS

In **Architectural Preservation Districts** designs for new buildings should be compatible with other buildings in the district and need not imitate existing buildings in order to be compatible. Well-designed modern buildings may be considered in **Architectural Preservation Districts** when they respect the scale and character of surrounding existing buildings and are compatible and complimentary. As appropriate to the modern design, exceptions may be granted to certain specific requirements of these guidelines.

Due to different characteristics of buildings in **Architectural Preservation Districts** the District is broken into the following three zones with each zone having its own guidelines:

**AP-1 District** contains the Colonial Williamsburg Historic Area, areas adjacent to the Colonial Williamsburg Historic Area, the old campus of William and Mary, and the National Register Historic Districts of Pollard Park and Chandler Court.



**DOG Street Pub (1929-31)**  
402 West Duke of Gloucester Street



**Warburton House (c1900) - 402 Scotland Street**



**Community Building (1998) - 401 North Boundary Street**

**AP-2 District** contains the older neighborhoods surrounding the **AP-1 District**, such as College Terrace, Burns Lane, Indian Springs, West Williamsburg and Capitol Landing Road.



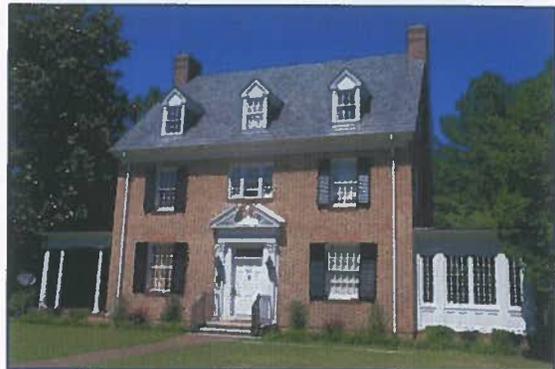
**Tribe Square (2011) – 249 Richmond Road**



**Harwood House (1950) – 104 Adams Street**



**McLendon House (2013) – 302 Page Street**



**Jerome Casey House (1929) – 711 Richmond Road**



**Morecock House (1895, r 2012) – 319 Capitol Landing Rd**



**Brooks House (2009) – 518 South England St**

**AP-3 District** contains post World War II Colonial Revival and more modern style dwellings such as those located in Pinecrest, Capitol Court, Crispus Attucks and West Williamsburg Heights (including all of the Arts and Cultural District).

The **Arts and Cultural District** is a subset of **AP-3** and allows for more design freedom of paint colors, sign colors and site elements to distinguish this area from other areas in the City.



**(1939) - 711 Hamilton Street**



**Keene House (1982) - 500 Capitol Court**



**Russell House (1975) - 418 Harriet Tubman Drive**



**TADA Beads - 1001 Richmond Road**



**Currently Elephant's Tale (1930) - 901 Richmond Road**

## **ARCHITECTURAL CHARACTER**

Design review within **Architectural Preservation Districts** is intended to protect and to preserve the historic architectural fabric of buildings from inappropriate renovations, to create an atmosphere for compatible future growth, to prevent the intrusion of adverse environmental influences, and to assure that new buildings will be in keeping with the character of older neighborhoods within **Architectural Preservation Districts**.

- These guidelines describe a range of prescriptive architectural practices that can be employed in numerous ways, but still assure that any new construction, addition or alteration of existing buildings is done in such a way as to complement and contribute to the existing scale and character of the district.
- Architecture for new buildings or additions should not replicate or imitate historic buildings, but be an evolution of and compatible with Williamsburg's design traditions, forms and materials.
- Replications of 18<sup>th</sup> century buildings are not acceptable.
- Traditional architectural styles associated with Williamsburg provide flexibility of design and innovative possibilities for responding to the existing pattern of development within the district, thus fitting into and building up patterns that are consistent in each zone. This includes Georgian, Queen Anne and colonial revival styles as well as bungalows and four square forms.
- Adaptations of these architectural styles ensure long-term compatibility within the city and enhance opportunities for adaptive use of buildings.
- Exceptional contemporary architectural designs should address the unique site requirements and relate successfully to nearby styles and architecture. Sensitively designed modern architecture contributes vitality and cultural continuity to these districts. In particular, public buildings in the city are typically of modern design.
- The creative use of non-traditional materials will be reviewed on a case-by-case basis depending on the design of the building.



**William Byrd House (1771) - 410 West Francis Street**

## APPROVAL OF NEW MATERIALS

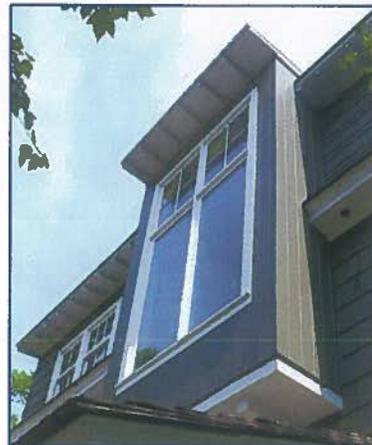
The Architectural Review Board will continue to review new materials on a regular basis. New materials may be presented to the Board during any regular meeting, and should include a sample of the material and the manufacturer's specifications for the material. If the Board determines that the *Design Review Guidelines* should be amended to include the new material, the Board may initiate an amendment to the Guidelines in accord with Article IX, Architectural Review, Sec. 21-853(h), of the Zoning Ordinance.



Wood Siding (left) Cementitious Siding (right)



Modern window



601 Wythe Lane

## ARCHITECTURAL PRESERVATION DISTRICT (AP-1)

**Architectural Preservation District AP-1** contains the Colonial Williamsburg Historic Area, areas adjacent to the Colonial Williamsburg Historic Area to include Merchant's Square, the old campus of William and Mary, and the National Register Historic Districts of Pollard Park and Chandler Court. These areas have a multitude of designs ranging from modest bungalows, gabled colonial revival styles, Dutch colonial revival styles, Virginia gambrel colonial revival style and vernacular dwellings.



**Chapman House (1939) - 604 Pollard Park**



**SunTrust Bank (2008) - 202 North Henry Street**



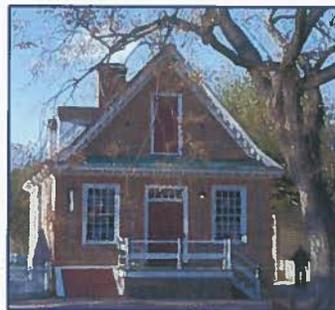
**Tallaferro Cole Stable (1941)**



**Pollard House (1925) - 131 Chandler Court**



**Charlotte Brooks House (1910)  
245 North Henry Street**



**Prentis Store (1740)  
213 East Duke of Gloucester Street**



**Williams-Sonoma (1931-32)  
440 West Duke of Gloucester Street**

## **NEW BUILDINGS AND ADDITIONS - (AP-1)**

New designs should contribute to existing buildings within the district. Additions and alterations should be compatible with existing building designs with the use of high quality building materials.

- New buildings and additions should be constructed of brick or horizontal wood siding. Wood shingles may be appropriate depending on the specific design.
- Materials such as vinyl, aluminum, metal siding, tiled faced or ceramic-faced masonry units, synthetic stucco and synthetic siding to include cementitious siding are not allowed.
- Wood siding should be horizontal with a six to eight inch exposure.
- Side and rear elevations should relate to the design elements and materials of the front elevation.
- Any wall should be built of not more than two materials, and those materials should change along a horizontal line such as a floor line or gable end. The heavier material such as brick should always be below the lighter material such as wood.
- Small additions may be constructed with the same type of siding that is on the building provided it matches the existing siding material in color, size and thickness.
- Synthetic trim is not allowed.
- All wood siding, wood shingles and wood trim shall be sealed with paint or an opaque stain.
- Mortar used for brick should be buff or gray. White mortar is not recommended.



Williamsburg Lodge – North Guest Houses (2006) – 310 South England Street

## **DOORS - (AP-1)**

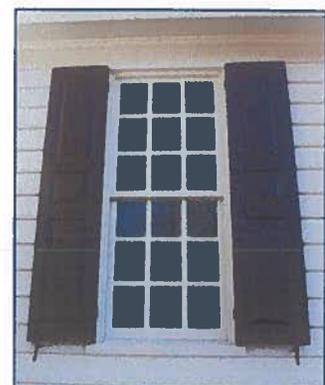
- Entrance doors should be wood with panels or some variation thereof. Windows, side lights and transoms in entrance doors are permitted, provided that they are proportioned and appropriate to the specific style of the building.
- If entrance doors with windows have muntins they must be on the exterior.
- Flush doors with applied trim are not permitted.
- Garage doors, utilities doors, and service doors should be painted wood, steel, aluminum or fiberglass and should correspond with the style of the building.
- Storm doors should be made of painted wood or aluminum and have a full view window. Storm doors should relate to the architectural character of the entrance.
- Screen doors should be made of wood or aluminum, may be shuttered or appropriate for the specific style of the building.



### **WINDOWS, STORMS, SHUTTERS AND AWNINGS - (AP-1)**

Windows contribute to the façade of a building and will be evaluated on (1) the pattern of the openings and their size; (2) proportions of the frame and sash; (3) configuration of window panes; (4) muntin profiles; (5) material; (6) paint color; (7) characteristics of the glass; and (8) details or decorative elements.

- Wood, vinyl clad wood, or pre-finished aluminum clad wood windows are allowed.
- Simulated divided light windows must have muntins on the exterior.
- Windows should be rectangular single, double, or triple hung or operable casement type.
- Semi-circular, circular, or hexagonal windows are permitted, but with minimal application.
- Windows on the ground floor should be the same proportion but slightly larger than windows on upper floors.
- Window openings in upper floors should be centered directly over openings in the ground floor whenever possible.
- Openings in gable ends should be symmetrical.
- Window openings should be at least three feet from building corners.
- Total glazed area on the street frontage should not exceed 30 percent of the total surface.
- Storm windows should be full view and constructed of wood or aluminum.
- An energy panel (interior storms) is an alternative to exterior storms and does not require approval from the Architectural Review Board.
- Shutters if proposed must be painted wood, sized to fit the opening with appropriate hardware.
- Composite, vinyl and metal shutters are not allowed.
- Shutters nailed to the side of a building are not allowed.
- Awnings if used must be made of fabric with side panels to cover the undercarriage. Vinyl and metal awnings are not allowed.



## **ROOFS - (AP-1)**

The types of wood-framed roofs typically fall into categories of symmetrical gables, gambrels, or hip roofs. Gables are the most prevalent. One-story primary roofs should have slopes not less than 7:12 and no steeper than 14:12. Two-story primary roofs may be as low as 4:12 and no steeper than 14:12. Secondary roofs may have slopes less than 7:12 depending on the material used (i.e. metal roof over porches can be less than 7:12; whereas a shingle roof should be not less than 7:12). On residential structures, flat roofs should be used only as occupiable areas directly accessible from the outdoors. These must have appropriate parapets and railings.

- Wood shingles, slate, architectural grade fiberglass shingles, metal shingles, high quality synthetic slate, textured concrete shingles and standing seam metal roofs are permitted. High quality synthetic slate roofs must meet the following minimum standards: Impact UL 2218-Class 4, Accelerated Weathering ASTM 4798—little or no color changes, and Freeze-thaw ICC-ES Acceptance Criteria ACO7 Section 4.9—no crazing, cracking or other adverse surface changes, which must be provided with the application.
- Shiny metal roofs, exposed aluminum or exposed galvanized metal roofs, ceramic or synthetic ceramic roofing tiles, stamped metal decorative roofing panels, flat roofs, plastic, vinyl or other synthetic type of roofs are not permitted.
- Metal roofs are recommended for porch roofs or ancillary elements and should be copper or galvalume type. Other colors may be acceptable on a case-by-case basis.
- Non-glossy colored anodized metal roofs should be gray, black, brown, dark green or other earth tones. Flashing may be copper, lead, vinyl or anodized aluminum.
- Copper roofs, gutters and flashing should not be painted or sealed but should be permitted to age naturally.
- Steep gable roofs like the “Swiss Chalet” shall not be used (pitches in excess of 14:12).
- Single plane pitch roofs i.e. shed roofs for houses shall not be used on the main house but can be used on wings.
- Roof penetrations should be on the rear slope of roofs and painted to match the color of the roof. Skylights or solar panels should be mounted on the rear slope of the roof, colored to match the roof and not be visible from the street.
- Dormers should have gabled, hipped, or shed roofs.
- Shiny metal roof vents, fireplace stacks, plumbing vents or other pipes are not acceptable.
- Gutters and downspouts should be made of copper or aluminum and may be half-round or ogee. Where gutters are not used, it is recommended that brick, concrete or gravel be placed at the drip line.



### **PORCHES, DECKS, TERRACES, STOOPS AND RAILS - (AP-1)**

- Porches with a narrow frontage should be no less than six feet deep, while porches with a wide frontage should be at least eight feet deep.
- Porches and stoops should be constructed of wood and contain appropriate sized columns and rails for the design.
- Terraces may be constructed using masonry elements that are consistent with the structure.
- Materials for rails may be wood, wrought iron, steel or aluminum and should be designed to complement the architectural design of the building.
- Face nailed balusters to a bottom and top rail are not acceptable.
- Vinyl and other modern synthetic materials are not acceptable.
- Screened porches should be located on the side or rear of the building.
- Columns are preferred to be Tuscan or Doric orders, although other types exist within the area. When used, columns should have correct proportions and profiles as described in *The American Vignola* and other traditional pattern books.
- Columns may be made of wood, although certain grades of fiberglass columns and cellular PVC are acceptable.
- All posts should be at least five inches in least dimension.
- Wood columns and posts should be sealed with paint or opaque stain.
- Modern deck designs are not appropriate in a front yard or if visible from a public street.
- Stoops at secondary entrances should be made of wood, brick or concrete. If made of concrete the sidewalls and stair risers should be faced with brick.



Lawson House (c 1907, r 2007)  
411 Scotland Street



J C Darlington House (c 1904, 40)  
349 Scotland Street

### **CHIMNEYS - (AP-1)**

- Chimneys can be used but are not required. They should be constructed of brick. Modern designed building may construct chimneys with the same material as the siding of the building, painted to match the building.
- Stucco is not permitted.
- Chimneys should be capped to conceal spark arresters.
- Primary chimneys should be rectilinear in design and should have a corbelled termination in keeping with existing types.

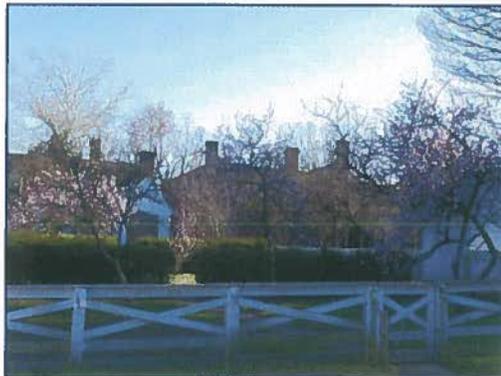
### **OUTBUILDINGS - (AP-1)**

- Outbuildings must meet the same criteria (i.e. walls, openings, roof etc.) as noted above for the main building.
- Metal outbuildings are not permitted.



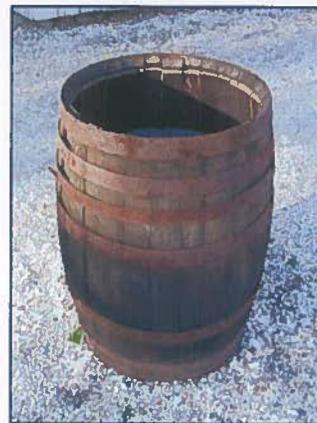
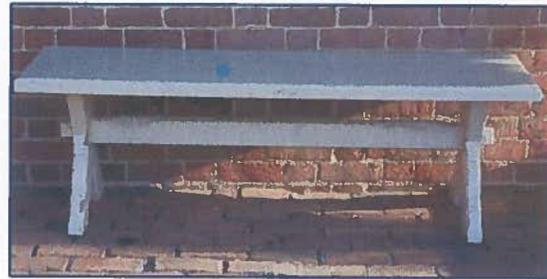
### **FENCES - (AP-1)**

- Wood, aluminum and wrought iron fences that are in keeping with a residential scale are permitted. The maximum height allowed for fences located in a front yard is four feet with up to six feet being allowed for a side or rear yard.
- Salt-treated wooden fences must be painted or stained.
- Chain-link, wire, plastic, and vinyl fences are not permitted.
- The finished side must face the street and/or adjoining properties.
- Fences should contribute to the site's character and not detract from the site's principal architectural features and should be compatible with adjacent sites.
- Fences that disrupt the harmony of the streetscape by breaking up established architectural rhythms are discouraged.



### **SITE ELEMENTS, SITING AND LANDSCAPE FEATURES - (AP-1)**

- Site elements should contribute to the site's character and not detract from the site's principal architectural features and should be compatible with adjacent sites.
- Mechanical equipment and trash facilities should be located in a side or rear yard and screened with a fence which must be stained or painted to match the building.
- Retaining walls if visible from the street shall be constructed of brick. Retaining walls not visible from the street may be constructed of brick, stone, block, timber or smooth finished concrete. If rails are required they should be constructed of wrought iron or aluminum and colored to blend in with the building.
- Site furnishings such as tables, chairs, benches, planters, flower pots, light poles, trash containers, bike racks and the like, must be submitted and approved by the Board on a case-by-case basis.



## **ACCEPTABLE COLORS - (AP-1)**

- Buildings shall be stained or sealed a natural earth tone or should be painted using colors from the following Benjamin Moore Williamsburg color palette. Colors with an \*\* and highlighted in red are not allowed for the body or siding of a building. If used they would be limited to doors, shutters, trim and windows.

### **White and Tan Color Range**

Harwood Putty CW-5	Capitol White CW-10	Parish White CW-15
Geddy White CW-20	Williamsburg Stone CW-25	Market Square Shell CW-30
Palace Tan CW-35	Lime White CW-95	Prentis Cream CW-100
Bracken Cream CW-105	Calcite CW-110**	Cornice Tan CW-115
Bracken Biscuit CW-120	Brush Beige CW-125	Coffeehouse Tan CW-130
Timson Sand CW-140	Brick House Tan CW-145	Randolph Bisque CW-185
Raleigh Tan CW-190	Chowning's Tan CW-195	Franklin White CW-200**
Galt Peach CW-210**	Byrd Beige CW-365	Wythe Tan CW-415
Bruton White CW-710		

### **Brown and Black Color Range**

Raleigh Sorrell CW-135	Everard Coffee CW-150**	Revolutionary Storm CW-155**
Dixon Brown CW-160	Coffeehouse Chocolate CW-165	Tarpley Brown CW-170
Tucker Chocolate CW-175**	Bucktrout Brown CW-180**	Walnut CW-240**
Reid Brown CW-260	Charlton Brown CW-265	Mopboard Black CW-680**
Lampblack CW-695	Bone Black CW-715**	

### **Gray Color Range**

Tavern Gray CW-40	York Gray CW-45	Tyler Gray CW-50
Finnie Gray CW-55	Cole Stone CW-60	Gunsmith Gray CW-65**
Pelham Gray CW-70**	Randolph Stone CW-75	Carter Gray CW-80
Randolph Gray CW-85**	Tavern Charcoal CW-90	Powell Smokehouse CW-360**
Pearl CW-640**	Powell Gray CW-665**	Ambler Slate CW-685**
Bracken Slate CW-690**	Slate CW-700	Tucker Gray CW-705
Bone Black CW-715	Geddy Gray CW-720**	

### **Red Color Range**

St. George Red CW-245**	Carriage Red CW-250	Palace Arms Red CW-255
Nicholson Red CW-270	Cochineal Red CW-330**	

### **Green Color Range**

Gloucester Green CW-440**	Burwell Green CW-445**	Greenhow Moss CW-450**
Timson Green CW-470	Palmer Green CW-475**	Bassett Hall Green CW-480
Burgess Green CW-485**	Levingston Green CW-490	Russell Green CW-495**
Nicholson Green CW-500**	Windsor Green CW-505**	Waller Green CW-510
Palace Green CW-520**	Raleigh Green CW-525**	Colonial Verdigris CW-530**
Buffet Green CW-535**	Goodwin Green CW-555**	

### **Blue Color Range**

Everard Blue CW-575**	Wetherburn's Blue CW-580	Washington Blue CW-630**
Apollo Blue CW-645	Chiswell Blue CW-660	Brush Blue CW-675**

### **Yellow and Gold Color Range**

Ludwell White CW-275	Moir Gold CW-280**	Gamboge CW-285**
English Ochre CW-290**	Sweeney Yellow CW-370	Tavern Ochre CW-375
Massicot CW-380	Coffeehouse Ochre CW-385	Bryan Ochre CW-390
Governor's Gold CW-395	Damask Yellow CW-400**	Chamber Yellow CW-410
Wythe Gold CW-420	Scrivener Gold CW-430	Everard Gold CW-435

- Painted siding and trim should be limited to two colors from the approved color palette unless additional colors are approved by the Architectural Review Board on a case-by-case basis. A third color from the approved colors may be used for shutters and doors.
- Additional paint colors from the approved color palette may be approved on a case-by-case basis.
- Brick that is bright red, orangish-red, pink, light red, or other colors may not be acceptable. Brick color should be a through-the-body color.
- Siding that is pink, bright silver, red, bright green or blue, or colors that are visually out of character for the area and architectural style are not acceptable.
- Wood fences and decks must be painted or stained if this is necessary to compliment the site or is required for maintenance of the materials.
- If colors are proposed that are not from the approved color palette they may be approved by the Architectural Review Board on a case-by-case basis. Specific color chips or samples to include the color name must be submitted with the application.
- Existing single-family dwellings or commercial buildings may duplicate or match existing color schemes without approval from the Architectural Review Board.
- Any new color scheme for single family dwellings that are proposed to be applied to already painted surfaces and which are comprised of no more than three colors as stated above from the Benjamin Moore Colonial Williamsburg color palette.
- Any new color schemes for commercial buildings must be approved by the Architectural Review Board. New color schemes should respect the architectural style of the building and colors of existing signage for any business on the property.



**The Blue Bell (1952) – 102 Waller Street**

## **EXISTING BUILDINGS - (AP-1)**

Preserving architectural features on the remaining historical buildings in the City is one of the principal goals of the *Design Review Guidelines*. Maintaining and repairing features such as siding, trim, doors and windows is germane to that goal. Conservation is preferable to reconstruction because it preserves evidence of past building practices and construction techniques by retaining original materials. Original wood siding, trim, and architectural features should be retained and repaired on existing buildings whenever possible.

### **SIDING - (AP-1)**

- Wood siding and trim must be replaced with siding and trim that matches or duplicates the existing material or product, which does not require approval by the Architectural Review Board.
- Synthetic siding and trim are not allowed as a replacement material for existing wood siding and trim.
- For guidance on rehabbing older buildings see Chapter IX Rehabilitation.



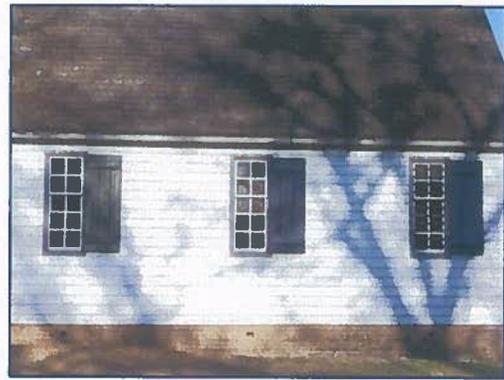
**321 Scotland Street (1935, 2010)**



**Hay's Cabinetmaking Shop (1965)  
303 East Nicholson Street**

## **WINDOWS, STORMS AND SHUTTERS - (AP-1)**

- Existing wood windows should be retained and repaired for buildings located in **AP-1**.
- If restoration is not possible then copies of the original window matching the existing sash and frames with duplicates in wood following the early form and details will be required.
- Other window types may be replaced with windows that are allowed in **AP-1** for new buildings or additions on a case-by-case basis.
- Storm windows should be full view and constructed of wood or aluminum.
- An energy panel (interior storms) is an alternative to exterior storms and does not require approval from the Architectural Review Board.
- Operable wooden shutters, painted, sized to fit the opening must be retained and repaired.
- If restoration of existing shutters is not possible then copies of the original wood shutter must be installed sized to fit the opening with appropriate hardware. Composite, vinyl and metal shutters are not allowed.

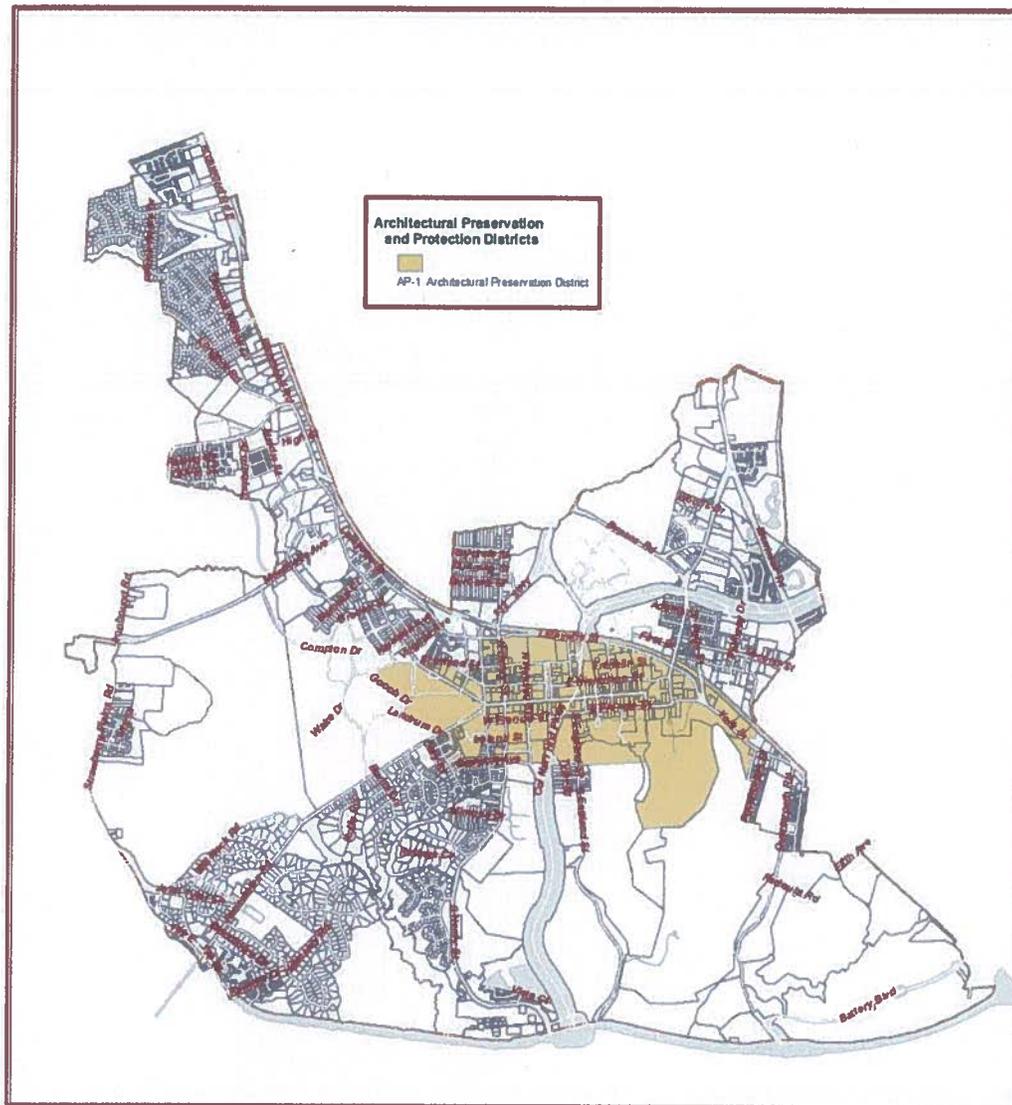


### **OTHER ELEMENTS - (AP-1)**

- Existing roofing material should be repaired or replaced in kind.
- Wood shingles, slate, architectural grade fiberglass shingles, textured concrete shingles and standing seam metal roofs are permitted.
- Material replacement in kind does not require approval from the Architectural Review Board.
- Any change in materials on the exterior requires approval from the Architectural Review Board.
- Decks are not historic features for buildings prior to World War II and are therefore not acceptable in a front yard or if they are visible from a public street.
- More appropriate outdoor seating areas for backyards of traditional architecture styles are stone or brick terraces, patios or pergolas designed to be compatible with the architectural style of the building.
- Unpainted, pressure-treated decks are not acceptable.
- If visible from a public street decks must be compatible with building and contain rails that are appropriate for the architectural style of the building.
- For buildings constructed after World War II decks may be acceptable on a rear elevation if the design is compatible with the architectural style of the building.
- For other elements and color schemes not listed in this section, see New Buildings and Additions in the **AP-1** above.



## ARCHITECTURAL PRESERVATION DISTRICT (AP-1)



*City of Williamsburg, Virginia*

Architectural Protection District AP-1

## ARCHITECTURAL PRESERVATION DISTRICTS - (AP-2)

**Architectural Preservation District AP-2** contains older neighborhoods surrounding **Architectural Preservation District AP-1** in the City such as College Terrace, Burns Lane, Indian Springs, West Williamsburg and Capitol Heights. These areas have a multitude of styles ranging from modest bungalows, to gabled colonial revival, Dutch colonial revival, Virginia gambrel colonial revival and vernacular dwellings.



**Jerome H Casey House (1929)**  
711 Richmond Road



**Baxter House (1941, R-1988)**  
106 Adams Street



**Johnson House (1926, 98)**  
500 Capitol Landing Road



**Hagey House (2001) – 501 Randolph Street**



**Harwood/Schreiber House (1928) – 502 Newport Avenue**

## **NEW BUILDINGS AND ADDITIONS - (AP-2)**

New designs should contribute to existing buildings located in the district. Additions and alterations should be compatible with existing building designs with the use of high quality building materials.

- New buildings and additions should be constructed of brick, horizontal wood siding or cementitious siding. Wood shingles may be appropriate depending on the specific design.
- Materials such as vinyl, aluminum, metal siding, tiled faced or ceramic-faced masonry units, synthetic stucco are not allowed.
- Wood siding should be horizontal with a six to eight inch exposure.
- Side and rear elevations should relate to the design elements and materials of the front elevation.
- Any wall should be built of not more than two materials, and those materials should change along a horizontal line such as a floor line or gable end. The heavier material such as brick should always be below the lighter material such as wood.
- Small additions may be constructed with the same type of siding that is on the building provided it matches the existing siding material in color, size and thickness.
- Solid synthetic trim may be allowed on a case-by-case basis.
- All wood siding, wood shingles and wood trim shall be sealed with paint or an opaque stain.
- Mortar used for brick should be buff or gray. White mortar is not recommended.



McLendon House (2013) – 306 Page Street

## **DOORS - (AP-2)**

- Entrance doors should be wood or fiberglass with panels or some variation thereof. Windows, side lights and transoms in entrance doors are permitted, provided that they are proportioned and appropriate to the specific style of the building.
- If entrance doors with windows have muntins they must be on the exterior.
- Flush doors with applied trim are not permitted.
- Garage doors, utilities doors, and service doors should be painted wood, steel, aluminum or fiberglass and should correspond with the style of the building.
- Storm doors should be made of painted wood or aluminum and have a full view window. Storm doors should relate to the architectural character of the entrance.
- Screen doors should be made of wood or aluminum, shuttered, or appropriate for the specific style of the building.



## **WINDOWS, STORMS, SHUTTERS AND AWNINGS - (AP-2)**

Windows contribute to the façade of a building and will be evaluated on (1) the pattern of the openings and their size; (2) proportions of the frame and sash; (3) configuration of window panes; (4) muntin profiles; (5) material; (6) paint color; (7) characteristics of the glass; and (8) details or decorative elements.

- Wood, vinyl clad wood, or pre-finished aluminum clad wood windows are allowed.
- High quality synthetic windows may be approved on a case-by-case basis. Applicants must provide the AAMA/WDMA/CAS101/I.S.2/A440-11 certification reference, manufacturer's warranty (minimum 15-year), local examples of existing installation with a duration of at least 5 years, and how long the manufacturer has been in business (recommended length of business is at least as long as the warranty period).
- Simulated divided light windows must have muntins on the exterior.
- Windows should be rectangular single, double, or triple hung or operable casement type.
- Semi-circular, circular, or hexagonal windows are permitted, but with minimal application.
- Windows on the ground floor should be the same proportion but slightly larger than windows on upper floors.
- Window openings in upper floors should be centered directly over openings in the ground floor whenever possible.
- Openings in gable ends should be symmetrical.
- Window openings should be at least three feet from building corners.
- Total glazed area on the street frontage should not exceed 30 percent of the total surface.
- Storm windows should be full view and constructed of wood or aluminum.
- An energy panel (interior storms) is an alternative to exterior storms and does not require approval from the Architectural Review Board.
- Shutters if proposed must be painted wood, sized to fit the opening with appropriate hardware. High quality composite shutters may be approved on a case-by-case basis.
- Vinyl and metal shutters are not allowed.
- Shutters nailed to the side of a building are not allowed.
- Awnings if used must be made of fabric with side panels to cover the undercarriage. Vinyl and metal awnings are not allowed.



Potter House (1949) - 123 Indian Springs Road

## **ROOFS - (AP-2)**

The types of wood-framed roofs typically fall into categories of symmetrical gables, gambrels, or hip roofs. Gables are the most prevalent. One-story primary roofs should have slopes not less than 7:12 and no steeper than 14:12. Two-story primary roofs may be as low as 4:12 and no steeper than 14:12. Secondary roofs may have slopes less than 7:12 depending on the material used (i.e. metal roof over porches can be less than 7:12; whereas a shingle roof should be not less than 7:12). On residential structures, flat roofs should be used only as occupiable areas directly accessible from the outdoors. These must have appropriate parapets and railings.

- Wood shingles, slate, architectural grade fiberglass shingles, metal shingles, high quality synthetic slate, textured concrete shingles and standing seam metal roofs are permitted. High quality synthetic slate roofs must meet the following minimum standards: Impact UL 2218-Class 4, Accelerated Weathering ASTM 4798—little or no color changes, and Freeze-thaw ICC-ES Acceptance Criteria ACO7 Section 4.9—no crazing, cracking or other adverse surface changes, which must be provided with the application.
- Shiny metal roofs, exposed aluminum or exposed galvanized metal roofs, ceramic or synthetic ceramic roofing tiles, stamped metal decorative roofing panels, flat roofs, plastic, vinyl or other synthetic type of roofs are not permitted.
- Metal roofs are recommended for porch roofs or ancillary elements and should be copper or galvalume type. Other colors may be acceptable on a case-by-case basis.
- Non-glossy colored anodized metal roofs should be gray, black, brown, dark green or other earth tones. Flashing may be copper, vinyl or anodized aluminum.
- Copper roofs, gutters and flashing should not be painted or sealed but should be permitted to age naturally.
- Gable roof ends should have a minimum overhang of 12 inches.
- Steep gable roofs like the “Swiss Chalet” shall not be used (pitches in excess of 14:12).
- Single plane pitch roofs i.e. shed roofs for houses shall not be used on the main house but can be used on wings.
- Roof penetrations should be on the rear slope of roofs and painted to match the color of the roof. Skylights or solar panels should be mounted on the rear slope of the roof, colored to match the roof and not be visible from the street.
- Dormers should have gabled, hipped, or shed roofs.
- Shiny metal roof vents, fireplace stacks, plumbing vents or other pipes are not acceptable.
- Gutters and downspouts should be made of copper or aluminum and may be half-round or ogee. Where gutters are not used, it is recommended that brick, concrete or gravel be placed at the drip line.



## **PORCHES, DECKS, TERRACES, STOOPS AND RAILS - (AP-2)**

- Porches with a narrow frontage should be no less than six feet deep, while porches with a wide frontage should be at least eight feet deep.
- Porches and stoops should be constructed of wood and contain appropriate sized columns and rails for the design.
- Terraces may be constructed using masonry elements that are consistent with the structure.
- Vinyl and other synthetic materials are not acceptable, except that solid synthetic materials will be considered on a case-by-case basis. Samples of proposed materials must be submitted with the application.
- Materials for railings may be wood, wrought iron, steel or aluminum and should be designed to complement the architectural design of the building. Synthetic rails will be considered on a case-by-case basis.
- Face nailed balusters to a bottom and top rail are not acceptable.
- Screened porches should be located on the side or rear of the building.
- Columns are preferred to be Tuscan or Doric orders, although other types exist within the area. When used, columns should have correct proportions and profiles as described in *The American Vignola* and other traditional pattern books.
- Columns may be made of wood, although certain grades of fiberglass columns and cellular PVC are acceptable.
- All posts should be at least five inches in least dimension.
- Wood columns and posts should be sealed with paint or opaque stain.
- Modern deck designs are not appropriate in a front yard or if visible from a public street.
- Stoops at secondary entrances should be made of wood, brick or concrete. If made of concrete the sidewalls and stair risers should be faced with brick.



Young House (2011) – 307 Capitol Landing Road

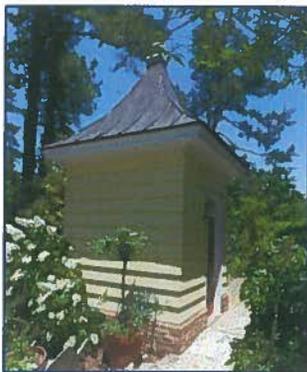
### **CHIMNEYS - (AP-2)**

- Chimneys can be used but are not required. They should be constructed of brick (unpainted) or if constructed with the same material as the siding of the building, painted to match the building.
- Stucco is not permitted.
- Chimneys should be capped to conceal spark arresters.
- Primary chimneys should be rectilinear in design and should have a corbelled termination in keeping with existing types.



### **OUTBUILDINGS – (AP-2)**

- Outbuildings must meet the same criteria (i.e. walls, openings, roof etc.) as noted above for the main building.
- Metal outbuildings are not permitted.



## **FENCES – (AP-2)**

- Wood, aluminum and wrought iron fences that are in keeping with a residential scale are permitted. The maximum height allowed for fences located in a front yard is four feet with up to six feet being allowed for a side or rear yard.
- Salt-treated wooden fences must be painted or stained.
- Chain-link, wire, plastic, and vinyl fences are not permitted.
- The finished side must face the street and/or adjoining properties.
- Fences should contribute to the site's character and not detract from the site's principal architectural features and should be compatible with adjacent sites.
- Fences that disrupt the harmony of the streetscape by breaking up established architectural rhythms are discouraged.



**SITE ELEMENTS, SITING AND LANDSCAPE FEATURES – (AP-2)**

- Site elements should contribute to the site’s character and not detract from the site’s principal architectural features and should be compatible with adjacent sites.
- Mechanical equipment and trash facilities should be located in a side or rear yard and screened with a fence which must be stained or painted to match the building.
- Retaining walls if visible from the street shall be constructed of brick. Retaining walls not visible from the street may be constructed of brick, stone, block, timber or smooth finished concrete. If rails are required they should be constructed of wrought iron or aluminum and colored to blend in with the building.
- Site furnishings such as tables, chairs, benches, planters, flower pots, light poles, trash containers, bike racks and the like, must be submitted and approved by the Board on a case-by-case basis.



## **ACCEPTABLE COLORS – (AP-2)**

- Buildings shall be stained or sealed a natural earth tone or should be painted using colors from the following Benjamin Moore Williamsburg color palette. Colors with **an \*\* and highlighted in red** are not allowed for the body or siding of a building. If used they would be limited to doors, shutters, trim and windows.

### **White and Tan Color Range**

Harwood Putty CW-5	Capitol White CW-10	Parish White CW-15
Geddy White CW-20	Williamsburg Stone CW-25	Market Square Shell CW-30
Palace Tan CW-35	Lime White CW-95	Prentis Cream CW-100
Bracken Cream CW-105	<b>Calcite CW-110**</b>	Cornice Tan CW-115
Bracken Biscuit CW-120	Brush Beige CW-125	Coffeehouse Tan CW-130
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Raleigh Tan CW-190	Chowning's Tan CW-195	<b>Franklin White CW-200**</b>
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### **Brown and Black Color Range**

Raleigh Sorrell CW-135	<b>Everard Coffee CW-150**</b>	<b>Revolutionary Storm CW-155**</b>
Dixon Brown CW-160	Coffeehouse Chocolate CW-165	Tarpley Brown CW-170
<b>Tucker Chocolate CW-175**</b>	<b>Bucktrout Brown CW-180**</b>	<b>Walnut CW-240**</b>
Reid Brown CW-260	Charlton Brown CW-265	<b>Mopboard Black CW-680**</b>
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### **Gray Color Range**

Tavern Gray CW-40	York Gray CW-45	Tyler Gray CW-50
Finnie Gray CW-55	Cole Stone CW-60	<b>Gunsmith Gray CW-65**</b>
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### **Red Color Range**

<b>St. George Red CW-245**</b>	Carriage Red CW-250	Palace Arms Red CW-255
Nicholson Red CW-270	<b>Cochineal Red CW-330**</b>	

### **Green Color Range**

<b>Gloucester Green CW-440**</b>	<b>Burwell Green CW-445**</b>	<b>Greenhow Moss CW-450**</b>
Timson Green CW-470	<b>Palmer Green CW-475**</b>	<b>Bassett Hall Green CW-480</b>
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<b>Everard Blue CW-575**</b>	Wetherburn's Blue CW-580	<b>Washington Blue CW-630**</b>
Apollo Blue CW-645	Chiswell Blue CW-660	<b>Brush Blue CW-675**</b>

### **Yellow and Gold Color Range**

Ludwell White CW-275	<b>Moir Gold CW-280**</b>	<b>Gamboge CW-285**</b>
<b>English Ochre CW-290**</b>	Sweeney Yellow CW-370	Tavern Ochre CW-375
Massicot CW-380	Coffeehouse Ochre CW-385	Bryan Ochre CW-390
Governor's Gold CW-395	<b>Damask Yellow CW-400**</b>	Chamber Yellow CW-410
Wythe Gold CW-420	Scrivener Gold CW-430	Everard Gold CW-435

- Painted siding and trim should be limited to two colors from the approved color palette unless additional colors are approved by the Architectural Review Board on a case-by-case basis. A third color may be used for shutters and doors.
- Additional paint colors from the approved color palette may be approved on a case-by-case basis.
- Brick that is bright red, orangish-red, pink, light red, or other colors may not be acceptable. Brick color should be a through-the-body color.
- Siding that is pink, bright silver, red, bright green or blue, or colors that are visually out of character for the area and architectural style are not acceptable.
- Wood fences and decks must be painted or stained if this is necessary to compliment the site or is required for maintenance of the materials.
- If colors are proposed that are not from the approved color palette they may be approved by the Architectural Review Board on a case-by-case basis. Specific color chips or samples to include the color name must be submitted with the application.
- Existing single-family dwellings or commercial buildings may duplicate or match existing color schemes without approval from the Architectural Review Board.
- Any new color scheme for single family dwellings that are proposed to be applied to already painted surfaces and which are comprised of no more than three colors as stated above from the Benjamin Moore Colonial Williamsburg color palette.
- Any new color schemes for commercial buildings must be approved by the Architectural Review Board. New color schemes should respect the architectural style of the building and colors of existing signage for any business on the property.



**Mullin House (1931) – 203 Harrison Avenue**



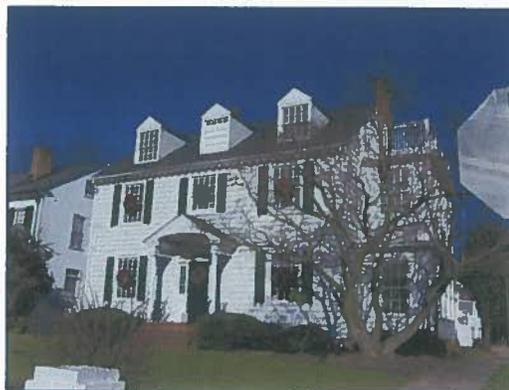
**Chambers House (1940) – 116 Indian Springs Road**

## **EXISTING BUILDINGS - (AP-2)**

Preserving architectural features on the remaining historical buildings in the City is one of the principal goals of the *Design Review Guidelines*. Maintaining and repairing features such as siding, trim, doors and windows is germane to that goal. Conservation is preferable to reconstruction because it preserves evidence of past building practices and construction techniques by retaining original materials. Original wood siding, trim, and architectural features should be retained and repaired on existing buildings whenever possible.



Steel House (1950) - 104 Adams Street



Holland Tourist Home (1928) – 601 Richmond Road

## **SIDING – (AP-2)**

- Wood siding and trim on buildings listed on or eligible for the National Register of Historic Places (Appendix 1) must be replaced with wood siding and trim that matches or duplicates the existing material or product.
- Wood siding and trim on buildings listed on the City's Listing of Buildings 50 years old or older (Appendix 2) should be replaced with wood siding and trim that matches or duplicates the existing material or product.
- Except for buildings listed on or eligible for the National Register of Historic Places (Appendix 1), the Architectural Review Board may grant the following exceptions on a case-by-case basis for existing buildings:
  1. If the original siding material is wood and it is covered with a synthetic material that cannot be replaced in kind because the siding material is no longer available in the market, replacement with other types of similar synthetic siding may be considered as follows, provided that the original wood material is not removed:
    - a. Aluminum siding may be replaced with vinyl siding that resembles horizontal wood siding.
    - b. Asbestos siding may be replaced with vinyl siding that resembles horizontal wood siding.
  2. If the original siding material is a synthetic material and cannot be replaced in kind because the existing siding is no longer available in the market, replacement with horizontal wood siding or similar synthetic siding may be considered as follows:

- a. Aluminum siding may be replaced with vinyl or cementitious siding that resembles horizontal wood siding.
  - b. Vinyl siding may be replaced with cementitious siding that resembles horizontal wood siding.
  - c. Asbestos siding may be replaced with cementitious siding that resembles horizontal wood siding.
  - d. Masonite siding or other hardboard siding may be replaced with cementitious siding that resembles horizontal wood siding.
3. If vinyl siding is approved for use, it shall meet the following standards:
- Standard:** ASTM D3679 is the accepted industry standard for quality.
- Thickness:** A minimum of 0.042 inches is required for impact resistance and durability.
- Style:** A beaded siding with a minimum of 6.5 inches of exposure is required.
- Color:** White, ivory, and other soft, colonial style colors are recommended.

Applicants must provide specifications of their vinyl siding and trim details with their application. The specifications must address the items listed above. When applying vinyl siding over existing siding it is important to consider retaining trim details with their applications.

- Synthetic trim will be considered on a case-by-case basis.
- For guidance on rehabbing older buildings see Chapter IX Rehabilitation.



Morecock House (1895, R-2009) – 305 Capitol Landing Road

### **WINDOWS, STORMS AND SHUTTERS - (AP-2)**

- Existing wood windows should be retained and repaired for buildings located in **AP-2**.
- If restoration is not possible then copies of the original window matching the existing sash and frames with duplicates in wood following the early form and details will be required.
- Other window types may be replaced with windows that are allowed in **AP-2** for new buildings or additions on a case-by-case basis.
- Storm windows should be full view and constructed of wood or aluminum.
- An energy panel (interior storms) is an alternative to exterior storms and does not require approval from the Architectural Review Board.
- Operable wooden shutters, painted, sized to fit the opening must be retained and repaired.
- If restoration of existing shutters is not possible then copies of the original wood shutter must be installed sized to fit the opening with appropriate hardware. Composite, vinyl and metal shutters are not allowed.



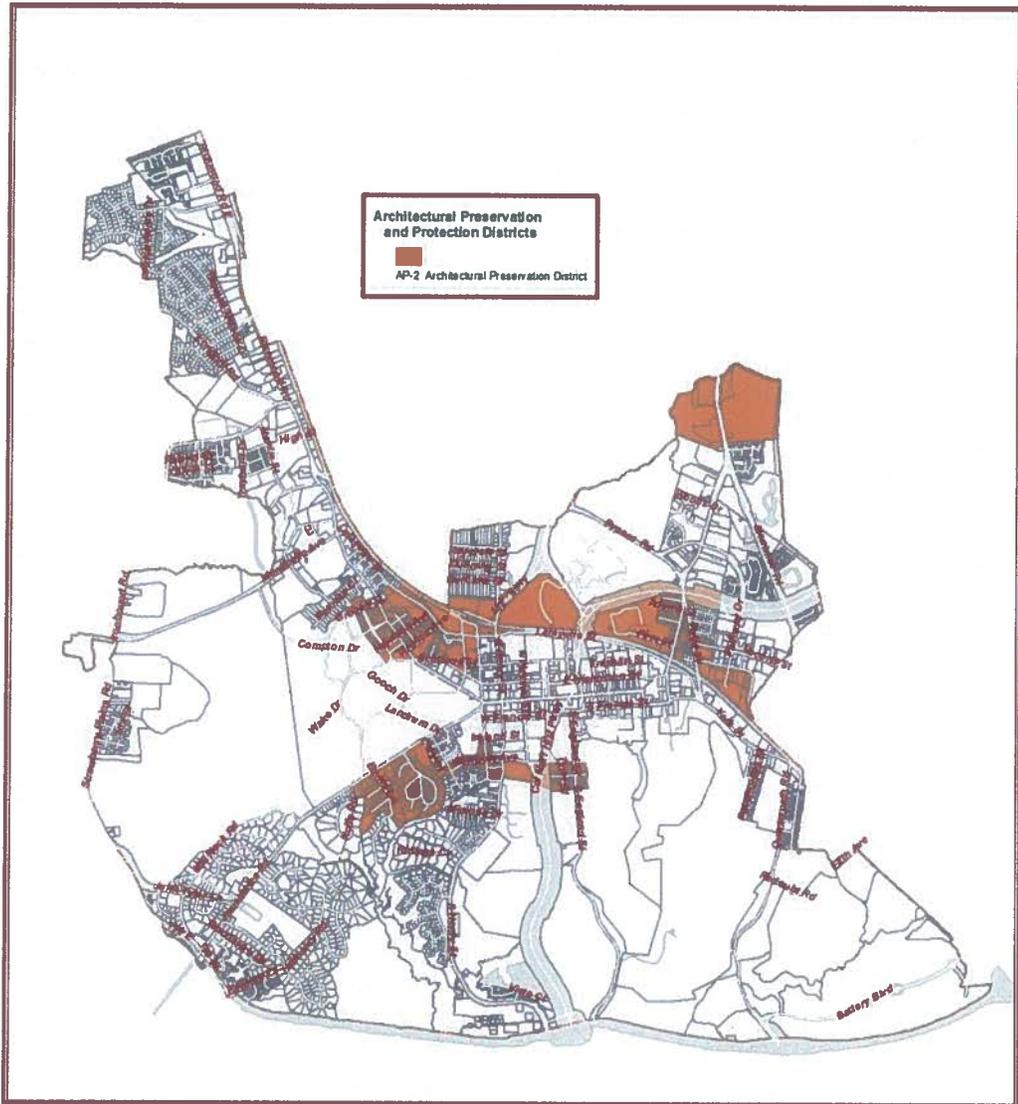
**Pittman House (1916) - 503 South England Street**

### **OTHER ELEMENTS - (AP-2)**

- Existing roofing material should be repaired or replaced in kind.
- Wood shingles, slate, architectural grade fiberglass shingles, high quality synthetic slate, textured concrete shingles and standing seam metal roofs are permitted. High quality synthetic slate roofs must meet the following minimum standards: Impact UL 2218-Class 4, Accelerated Weathering ASTM 4798—little or no color changes, and Freeze-thaw ICC-ES Acceptance Criteria ACO7 Section 4.9—no crazing, cracking or other adverse surface changes, which must be provided with the application.
- Material replacement in kind does not require approval from the Architectural Review Board.
- Any change in materials on the exterior requires approval from the Architectural Review Board.
- Decks are not historic features for buildings prior to World War II and are therefore not acceptable in a front yard or if they are visible from a public street.
- More appropriate outdoor seating areas for backyards of traditional architecture styles are stone or brick terraces, patios or pergolas designed to be compatible with the architectural style of the building.
- Unpainted, pressure-treated decks are not acceptable.
- If visible from a public street they must be compatible with building and contain rails that are appropriate for the architectural style of the building.
- For buildings constructed after World War II decks may be acceptable on a rear elevation if the design is compatible with the architectural style of the building.
- For other elements and color schemes not listed in this section, see New Buildings and Additions in the **AP-2** above.



## ARCHITECTURAL PRESERVATION DISTRICT (AP-2)



*City of Williamsburg, Virginia*

Architectural Protection District AP-2

## ARCHITECTURAL PRESERVATION DISTRICT (AP-3)

This District contains neighborhoods that were constructed post World War II Colonial Revival and a more modern style dwelling which includes the Pinecrest, Capitol Court Crispus Attucks and the Arts and Cultural District.

The Arts and Cultural District is a subset of **AP-3** and allows for more design freedom of paint colors, sign colors and site elements to distinguish this area from other areas in the City. Specifically, Chapter V, windows (page 40), Chapter V, acceptable colors (page 47), and Signs Chapter VII, Page 7 describe guidelines that are uniquely applicable in the Arts and Cultural District.



(1939) – 711 Hamilton Street



Keene House (1982) – 500 Capitol Court



Russell House (1975) – 418 Harriett Tubman Drive



(1950) – 708 Tanyard Street

### NEW BUILDINGS AND ADDITIONS - (AP-3)

New designs should contribute to existing buildings located in the district. Additions and alterations should be compatible with existing building designs with the use of high quality building materials.

- New buildings and additions should be constructed of brick, horizontal wood siding, vinyl, aluminum or cementitious siding. Wood shingles may be appropriate depending on the specific design.
- If vinyl siding is approved for use, it shall meet the following standards:
  - Standard:** ASTM D3679 is the accepted industry standard for quality.
  - Thickness:** A minimum of 0.042 inches is required for impact resistance and durability.
  - Style:** A beaded siding with a minimum of 6.5 inches of exposure is required.
  - Color:** White, ivory, and other soft, colonial style colors are recommended.

Applicants must provide specifications of their vinyl siding and trim details with their application. The specifications must address the items listed above. When applying vinyl siding over existing siding it is important to consider retaining trim details with their applications.

- Materials such as metal siding, tiled faced or ceramic-faced masonry units and synthetic stucco are not allowed.
- Wood siding should be horizontal with a six to eight inch exposure.
- Side and rear elevations should relate to the design elements and materials of the front elevation.
- Any wall should be built of not more than two materials, and those materials should change along a horizontal line such as a floor line or gable end. The heavier material such as brick should always be below the lighter material such as wood.
- Small additions may be constructed with the same type of siding that is on the building provided it matches the existing siding material in color, size and thickness.
- Solid synthetic trim may be allowed on a case-by-case basis.
- All wood siding, wood shingles and wood trim shall be sealed with paint or an opaque stain.
- Mortar used for brick should be buff or gray. White mortar is not recommended.



### **DOORS - (AP-3)**

- Entrance doors should be wood or fiberglass with panels or some variation thereof. Windows, side lights and transoms in entrance doors are permitted, provided that they are proportioned and appropriate to the specific style of the building.
- Flush doors with applied trim are not permitted.
- Garage doors, utilities doors, and service doors should be painted wood, steel, aluminum or fiberglass and should correspond with the style of the building.
- Storm doors should be made of painted wood or aluminum. Storm doors should relate to the architectural character of the entrance.
- Screen doors should be made of wood or aluminum with full view, shuttered, or appropriate for the specific style of the building.



### **WINDOWS, STORMS, SHUTTERS AND AWNINGS - (AP-3)**

Windows contribute to the façade of a building and will be evaluated on (1) the pattern of the openings and their size; (2) proportions of the frame and sash; (3) configuration of window panes; (4) muntin profiles; (5) material; (6) paint color; (7) characteristics of the glass; and (8) details or decorative elements.

- Wood, vinyl clad wood, or pre-finished aluminum clad wood windows are allowed.
- High quality synthetic windows may be approved on a case-by-case basis. Applicants must provide the AAMA/WDMA/CAS101/I.S.2/A440-11 certification reference, manufacturer's warranty (minimum 15-year), local examples of existing installation with a duration of at least 5 years, and how long the manufacturer has been in business (recommended length of business is at least as long as the warranty period).
- Windows in the Arts and Cultural District must have muntins on the exterior.
- Windows located in **AP-3** outside of the Arts and Cultural District may have muntins on the interior or exterior of the glass.
- Windows should be rectangular single, double, or triple hung or operable casement type.
- Semi-circular, circular, or hexagonal windows are permitted, but with minimal application.
- Windows on the ground floor should be the same proportion but slightly larger than windows on upper floors.
- Window openings in upper floors should be centered directly over openings in the ground floor whenever possible.
- Openings in gable ends should be symmetrical.
- Window openings should be at least three feet from building corners.
- Total glazed area on the street frontage should not exceed 30 percent of the total surface.
- Storm windows should be full view and constructed of wood or aluminum.
- An energy panel (interior storms) is an alternative to exterior storms and does not require approval from the Architectural Review Board.
- Shutters if proposed must be painted wood, vinyl or high quality composite shutters that are sized to fit the opening with appropriate hardware.
- Metal shutters are not allowed.
- Shutters nailed to the side of a building are not allowed.
- Awnings if used must be made of fabric with side panels to cover the undercarriage. Vinyl and metal awnings are not allowed.



(1947) - 712 Monument Avenue

### **ROOFS - (AP-3)**

The types of wood-framed roofs typically fall into categories of symmetrical gables, gambrels, or hip roofs. Gables are the most prevalent. One-story primary roofs should have slopes not less than 7:12 and no steeper than 14:12. Two-story primary roofs may be as low as 4:12 and no steeper than 14:12. Secondary roofs may have slopes less than 7:12 depending on the material used (i.e. metal roof over porches can be less than 7:12; whereas a shingle roof should be not less than 7:12). On residential structures, flat roofs should be used only as occupiable areas directly accessible from the outdoors. These must have appropriate parapets and railings.

- Wood shingles, slate, architectural grade fiberglass shingles, metal shingles, high quality synthetic slate, textured concrete shingles and standing seam metal roofs are permitted. High quality synthetic slate roofs must meet the following minimum standards: Impact UL 2218-Class 4, Accelerated Weathering ASTM 4798—little or no color changes, and Freeze-thaw ICC-ES Acceptance Criteria ACO7 Section 4.9—no crazing, cracking or other adverse surface changes, which must be provided with the application.
- Shiny metal roofs, exposed aluminum or exposed galvanized metal roofs, ceramic or synthetic ceramic roofing tiles, stamped metal decorative roofing panels, flat roofs, plastic, vinyl or other synthetic type of roofs are not permitted.
- Metal roofs are recommended for porch roofs or ancillary elements and should be copper or galvalume type. Other colors may be acceptable on a case-by-case basis.
- Non-glossy colored anodized metal roofs should be gray, black, brown, dark green or other earth tones. Flashing may be copper, vinyl or anodized aluminum.
- Copper roofs, gutters and flashing should not be painted or sealed but should be permitted to age naturally.
- Gable roof ends should have a minimum overhang of 12 inches.
- Steep gable roofs like the “Swiss Chalet” shall not be used (pitches in excess of 14:12).
- Single plane pitch roofs i.e. shed roofs for houses shall not be used on the main house but can be used on wings.
- Roof penetrations should be on the rear slope of roofs and painted to match the color of the roof. Skylights or solar panels should be mounted on the rear slope of the roof, colored to match the roof and not be visible from the street.
- Dormers should have gabled, hipped, or shed roofs.
- Shiny metal roof vents, fireplace stacks, plumbing vents or other pipes are not acceptable.
- Gutters and downspouts should be made of copper or aluminum and may be half-round or ogee. Where gutters are not used, it is recommended that brick, concrete or gravel be placed at the drip line.



### **PORCHES, DECKS, TERRACES, STOOPS AND RAILS - (AP-3)**

- Porches with a narrow frontage should be no less than six feet deep, while porches with a wide frontage should be at least eight feet deep.
- Porches and stoops should be constructed of wood and contain appropriate sized columns and rails for the design.
- Terraces may be constructed using masonry elements that are consistent with the structure.
- Vinyl and other synthetic materials are not acceptable, except that solid synthetic materials will be considered on a case-by-case basis. Samples of proposed materials must be submitted with the application.
- Materials for railings may be wood, wrought iron, steel or aluminum and should be designed to complement the architectural design of the building. Synthetic rails will be considered on a case-by-case basis.
- Face nailed balusters to a bottom and top rail are not acceptable.
- Screened porches should be located on the side or rear of the building.
- Columns are preferred to be Tuscan or Doric orders, although other types exist within the area. When used, columns should have correct proportions and profiles as described in *The American Vignola* and other traditional pattern books.
- Columns may be made of wood, although certain grades of fiberglass columns and cellular PVC are acceptable.
- All posts should be at least five inches in least dimension.
- Wood columns and posts should be sealed with paint or opaque stain.
- Modern deck designs are not appropriate in a front yard or if visible from a public street.
- Stoops at secondary entrances should be made of wood, brick or concrete. If made of concrete the sidewalls and stair risers should be faced with brick.



CHA

### **CHIMNEYS - (AP-3)**

- Chimneys can be used but are not required. They should be constructed of brick (unpainted) or if constructed with the same material as the siding of the building, painted to match the building.
- Stucco is not permitted.
- Chimneys should be capped to conceal spark arresters.
- Primary chimneys should be rectilinear in design and should have a corbelled termination in keeping with existing types.



### **OUTBUILDINGS – (AP-3)**

- Outbuildings must meet the same criteria (i.e. walls, openings, roof etc.) as noted above for the main building.
- Metal outbuildings are not permitted.



### **FENCES – (AP-3)**

- Wood, aluminum and wrought iron fences that are in keeping with a residential scale are permitted. The maximum height allowed for fences located in a front yard is four feet with up to six feet being allowed for a side or rear yard.
- Salt-treated wooden fences must be painted or stained.
- Chain-link, wire, plastic, and vinyl fences are not permitted.
- The finished side must face the street and/or adjoining properties.
- Fences should contribute to the site's character and not detract from the site's principal architectural features and should be compatible with adjacent sites.
- Fences that disrupt the harmony of the streetscape by breaking up established architectural rhythms are discouraged.



### **SITE ELEMENTS, SITING AND LANDSCAPE FEATURES – (AP-3)**

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- Mechanical equipment and trash facilities should be located in a side or rear yard and screened with a fence which must be stained or painted to match the building.
- Retaining walls if visible from the street shall be constructed of brick. Retaining walls not visible from the street may be constructed of brick, stone, block, timber or smooth finished concrete. If rails are required they should be constructed of wrought iron or aluminum and colored to blend in with the building.
- Site furnishings such as tables, chairs, benches, planters, flower pots, light poles, trash containers, bike racks and the like, must be submitted and approved by the Board on a case-by-case basis.



### **ACCEPTABLE COLORS – (AP-3)**

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Wythe Gold CW-420	Scrivener Gold CW-430	Everard Gold CW-435

- Painted siding and trim should be limited to two colors from the approved color palette unless additional colors are approved by the Architectural Review Board on a case-by-case basis. A third color may be used for shutters and doors.
- Buildings located in the Arts and Cultural District will allow a wider range of colors and the total number of colors to allow flexibility and latitude in design.
- Additional paint colors from the approved color palette may be approved on a case-by-case basis.
- Brick that is bright red, orangish-red, pink, light red, or other colors may not be acceptable. Brick color should be a through-the-body color.
- Siding that is pink, bright silver, red, bright green or blue, or colors that are visually out of character for the area and architectural style are not acceptable.
- Wood fences and decks must be painted or stained if this is necessary to compliment the site or is required for maintenance of the materials.
- If colors are proposed that are not from the approved color palette they may be approved by the Architectural Review Board on a case-by-case basis. Specific color chips or samples to include the color name must be submitted with the application.
- Existing single-family dwellings or commercial buildings may duplicate or match existing color schemes without approval from the Architectural Review Board.
- Any new color scheme for single family dwellings that are proposed to be applied to already painted surfaces and which are comprised of no more than three colors as stated above from the Benjamin Moore Colonial Williamsburg color palette.
- Any new color schemes for commercial buildings must be approved by the Architectural Review Board. New color schemes should respect the architectural style of the building and colors of existing signage for any business on the property.



1939 - 711 Hamilton Street



Perkins House (1927) – 725 Lafayette Street

## **EXISTING BUILDINGS - (AP-3)**

Preserving architectural features on the remaining historical buildings in the City is one of the principal goals of the *Design Review Guidelines*. Maintaining and repairing features such as siding, trim, doors and windows is germane to that goal. Conservation is preferable to reconstruction because it preserves evidence of past building practices and construction techniques by retaining original materials. Original wood siding, trim, and architectural features should be retained and repaired on existing buildings whenever possible.



(1937) – 104 Westover Avenue

### **SIDING – (AP-3)**

- Wood siding and trim on buildings listed on or eligible for the National Register of Historic Places (Appendix 1) must be replaced with wood siding and trim that matches or duplicates the existing material or product.
- Wood siding and trim on buildings listed on the Cities Listing of Buildings 50 years old or older (Appendix 2) should be replaced with wood siding and trim that matches or duplicates the existing material or product.
- Except for buildings listed on or eligible for the National Register of Historic Places (Appendix 1), the Architectural Review Board may grant the following exceptions on a case-by-case basis for existing buildings:
  1. If the original siding material is wood and it is covered with a synthetic material that cannot be replaced in kind because the siding material is no longer available in the market, replacement with other types of similar synthetic siding may be considered as follows, provided that the original wood material is not removed:
    - a. Aluminum siding may be replaced with vinyl siding that resembles horizontal wood siding.
    - b. Asbestos siding may be replaced with vinyl siding that resembles horizontal wood siding.
  2. If the original siding material is a synthetic material and cannot be replaced in kind because the existing siding is no longer available in the market, replacement with horizontal wood siding or similar synthetic siding may be considered as follows:
    - a. Aluminum siding may be replaced with vinyl or cementitious siding that resembles horizontal wood siding.
    - b. Vinyl siding may be replaced with cementitious siding that resembles horizontal wood siding.

- c. Asbestos siding may be replaced with cementitious siding that resembles horizontal wood siding.
  - d. Masonite siding or other hardboard siding may be replaced with cementitious siding that resembles horizontal wood siding.
3. If vinyl siding is approved for use, it shall meet the following standards:
- Standard:** ASTM D3679 is the accepted industry standard for quality.
  - Thickness:** A minimum of 0.042 inches is required for impact resistance and durability.
  - Style:** A beaded siding with a minimum of 6.5 inches of exposure is required.
  - Color:** White, ivory, and other soft, colonial style colors are recommended.

Applicants must provide specifications of their vinyl siding and trim details with their application. The specifications must address the items listed above. When applying vinyl siding over existing siding it is important to consider retaining trim details with their applications.

- Synthetic trim will be considered on a case-by-case basis.
- For guidance on rehabbing older buildings see Chapter IX Rehabilitation.



(1940) – 704 Monumental Avenue

### **WINDOWS, STORMS AND SHUTTERS - (AP-3)**

- Existing wood windows should be retained and repaired for buildings located in **AP-3**.
- If restoration is not possible then copies of the original window matching the existing sash and frames with duplicates in wood following the early form and details will be required.
- Other window types may be replaced with windows that are allowed in **AP-3** for new buildings or additions on a case-by-case basis.
- Storm windows should be full view and constructed of wood or aluminum.
- An energy panel (interior storms) is an alternative to exterior storms and does not require approval from the Architectural Review Board.
- Operable wooden shutters, painted, sized to fit the opening must be retained and repaired.
- If restoration of existing shutters is not possible then copies of the original wood shutter must be installed sized to fit the opening with appropriate hardware. Vinyl and metal shutters are not allowed.
- High quality composite material shutters that resemble original shutters may be approved on a case-by-case basis.

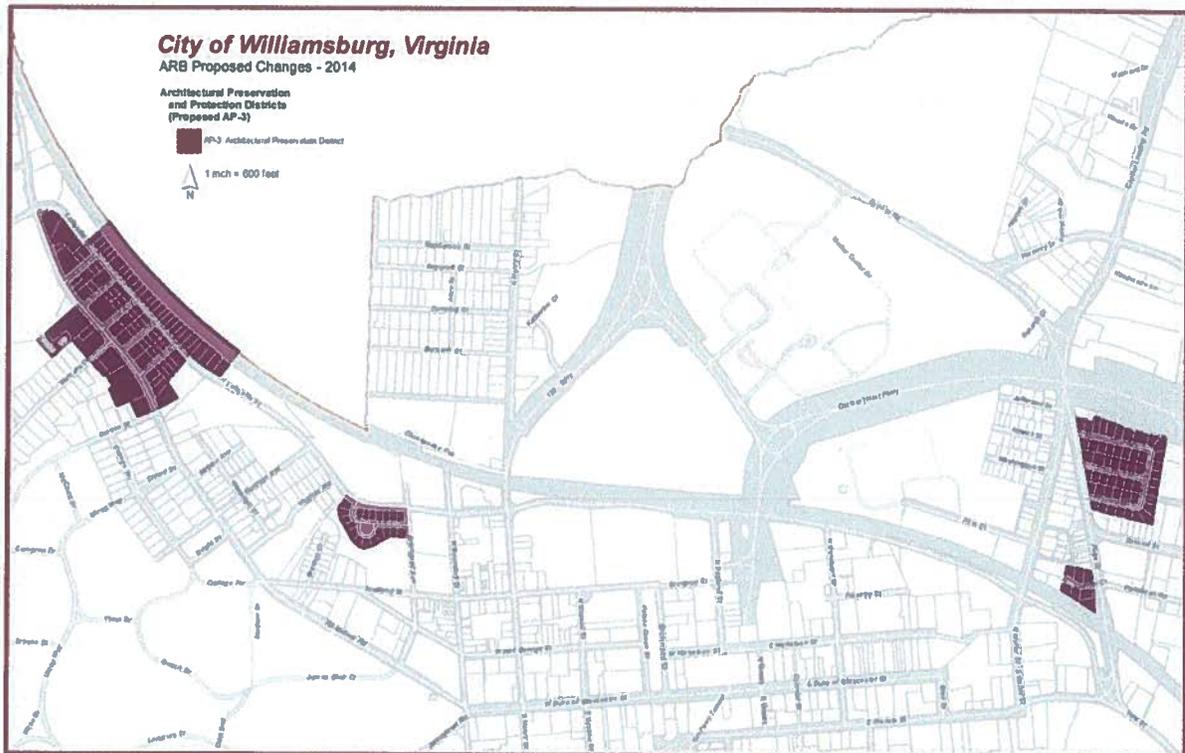


1001 Richmond Road

### **OTHER ELEMENTS - (AP-3)**

- Existing roofing material should be repaired or replaced in kind.
- Wood shingles, slate, architectural grade fiberglass shingles, high quality synthetic slate, textured concrete shingles and standing seam metal roofs are permitted.
- Material replacement in kind does not require approval from the Architectural Review Board.
- Any change in materials on the exterior requires approval from the Architectural Review Board.
- Decks are not historic features for buildings prior to World War II and are therefore not acceptable in a front yard or if they are visible from a public street.
- More appropriate outdoor seating areas for backyards of traditional architecture styles are stone or brick terraces, patios or pergolas designed to be compatible with the architectural style of the building.
- Unpainted, pressure-treated decks are not acceptable.
- If visible from a public street they must be compatible with building and contain rails that are appropriate for the architectural style of the building.
- For buildings constructed after World War II decks may be acceptable on a rear elevation if the design is compatible with the architectural style of the building.
- For other elements and color schemes not listed in this section, see New Buildings and Additions in the **AP-3** above.

### **ARCHITECTURAL PRESERVATION DISTRICT (AP-3)**



## **CHAPTER VI CORRIDOR PROTECTION DISTRICT Commercial Buildings**

In the **Corridor Protection District**, construction should contribute to the improvement of the architectural and visual character of these major entrance corridors to the City and to the Colonial Williamsburg Historic Area. It is important that new or replacement materials are of high quality and present a good appearance. The standards in this section refer to new commercial development, redevelopment and major renovations in the **Corridor Protection District**.

### **ARCHITECTURAL CHARACTER**

The purpose of these guidelines is to develop an overriding architectural quality of design for commercial buildings in the commercial corridors. A consistent high quality of architectural design and building maintenance will improve the image of the corridors and contribute to a pleasing appearance along the major entryways in our community. Construction should respect the overall streetscape, and should preserve and enhance the natural features present on the project site.

- These guidelines describe a range of prescriptive architectural practices that can be employed in numerous ways, but still assure that any new construction, additions or alterations of existing buildings are done in such a way as to compliment and contribute to the existing scale and character of these corridors.
- Architecture for new buildings or additions should not replicate or imitate historic buildings, but be an evolution of and compatible with Williamsburg's design traditions, forms and materials.
- Replications of 18<sup>th</sup> century buildings are not acceptable.
- Generic franchise design and buildings designed as Chinese pagodas, Italian villas, Mexican haciendas, New England lobster shacks and the like are not acceptable.
- Franchise buildings are required to use elements that are appropriate to the character of the city which supports and enhance the community identity.
- Building design should be specific to the selected site and the Williamsburg context.
- Sensitively designed modern architecture contributes vitality and cultural continuity to these corridors. In particular, public buildings in the city are typically of modern design. Exceptional contemporary architectural designs should address the unique site requirements and relate successfully to nearby styles and architecture.
- Sustainable design and the creative use of sustainable materials will be reviewed on a case-by-case basis depending on the design of the building.



## **FAÇADE DESIGN – CORRIDOR COMMERCIAL**

Façade Design is crucial to the overall impression of the architecture and particularly relates to the pedestrian's and motorist's perspective. The factors that must be considered in developing appropriate façade design are height, proportion of façade, rhythm of building and spaces, setback and location on site, complexity of building form, rhythm of entrances, roof shapes and materials, continuity of streetscape, proportion of openings, materials and textures, architectural details, relation to historic styles, solids and voids and colors.

- Façade design should not be overly complicated or overly monotonous, and should respect the traditions of the town. Designs reflecting traditional proportions and elements are encouraged. False facades typical of theme parks and movie sets are not acceptable.
- Side and rear elevations should relate to the design elements and materials of the front elevation.
- Building facades that are long and continue without interruption can be unattractive. Large or multiple building projects should use variation of detail, form and siting to provide visual interest and to prevent monotonous design and appearance. When the prominent façades of a new commercial building are longer than 30 feet, they should be modulated with breaks in the façade.
- Inadequate fenestration creates a fortress-like façade and excessive glazing floods the surrounding areas with light, resulting in an overly aggressive approach to the street. As a general rule, at least 20% but not more than 30% of the front façade design should be "transparent" based on the percentage of (window) fenestration (not including doorways).
- Windows contribute to the façade of a building and will be evaluated on: (1) the pattern of the openings and their size; (2) proportions of the frame and sash; (3) configuration of window panes; (4) muntin profiles; (5) material; (6) color; (7) characteristics of the glass; and (8) details or decorative elements. The use of

traditional window proportions is highly encouraged, particularly for freestanding restaurants and offices and retail structures, and particularly when adjacent to residential sections of the corridors, such as the Jamestown Road/Route 199 area. Care should be taken to avoid excessive glazing that is not in keeping with a traditional design approach.

- Large windows may be acceptable in the context of a properly designed shopping center or large commercial building. In traditional designs, windows, sidelights, and glazed doors must have exterior mullions/muntins or those which give the appearance of true divided lights and are non-removable.
- Solid glass windows or doors are usually not appropriate except selectively in shopping centers.
- True divided lights or simulated true divided lights are permitted; however if mullions/muntins are proposed they must be on the exterior of the window.
- Wood, vinyl clad wood, pre-finished aluminum clad wood and solid PVC windows are permitted. Other types may be submitted for approval on a case-by-case basis.
- Aluminum storefront systems are acceptable for commercial buildings and will be reviewed on design and color.
- Shutters may be appropriate on buildings of residential scale.
- When used, shutters must be in correct proportion to the windows or doors that they adjoin. Shutters must have attached hardware and be mounted to give the appearance of being operable. Shutters should not appear to be attached permanently to the wall.
- Wood, solid PVC and solid composite shutters are permitted.
- Side and rear elevations should relate to the design elements and materials as the front facade.



### **ROOF DESIGN – CORRIDOR COMMERCIAL**

A roof is a critical design element with both the shape and material contributing to the appearance of the building. Roofs and roof materials are important elements and will be

given the same consideration as other exterior elements. Key considerations include: shape and pitch, overall massing, overhangs, color, and materials.

- Pitched roofs are highly encouraged for freestanding restaurants, offices and retail structures, particularly when adjacent to residential areas. The minimum acceptable roof pitch is 5/12; however, greater roof pitches may be incorporated (6/12 up to 12/12) depending on the overall architectural design, scale and massing of the structure.
- Roof materials and colors must be appropriate to the architectural style of the building. Slate, synthetic slate, architectural grade fiberglass shingles, cementitious shingles and sanding seam metal roofs are acceptable depending on the style of the building. Earth tone colors such as black, gray, brown, dark green or other earth tone colors are permitted. Other materials or colors may be acceptable and are subject to review on a case-by-case basis. High quality synthetic slate roofs must meet the following minimum standards: Impact UL 2218-Class 4, Accelerated Weathering ASTM 4798—little or no color changes, and Freeze-thaw ICC-ES Acceptance Criteria ACO7 Section 4.9—no crazing, cracking or other adverse surface changes, which must be provided with the application.
- Regardless of the material, shiny and bright roof colors are not acceptable.
- For large commercial structures (approximately 15,000 square feet or more) flat roofs may be allowed if adequate detail and visual interest is provided by the parapet or roof design.
- If a mansard or "false" mansard roof is used on a large commercial structure, the roof should be consistent in slope and arrangement on all sides and high enough to screen all mechanical equipment.



## **BUILDING MATERIALS – CORRIDOR COMMERCIAL**

The selection of appropriate building materials is critical to the overall architectural building character. Consistently applied guidelines for building materials will greatly improve the appearance of the corridors.

### **Building Materials Guidelines:**

- Materials which reflect the city's traditions are highly encouraged. Major commercial buildings (those which are two-story and higher, shopping centers, and buildings in excess of 10,000 square feet) should be constructed of brick. All other buildings should be constructed of brick and either horizontal wood or horizontal cementitious siding. Siding must have an exposure between six and eight inches and may have a beaded edge; the intended effect is to create a play of light and shadow on the wall surface. Other high quality products may be acceptable on a case-by-case basis if the form, detailing, painting, and overall appearance convey the visual appearance of the authentic material.
- Small additions may be constructed with the same type of siding that is on the building provided it matches the existing siding material in color, size and thickness.
- Existing metal, stucco, drivit, aluminum, vinyl and synthetic siding may be replaced in kind with the same type of material, provided that it matches the existing siding material in color, size and thickness.
- Aluminum siding, vinyl siding and sheeted siding are not acceptable materials.
- Applied stucco is not acceptable as the primary building material. However, applied stucco may be acceptable as an accent material on buildings of contemporary design or in renovations.
- Materials for railings may be wood, wrought iron, steel or aluminum and should be designed to complement the architectural design of the building. Synthetic railings will be considered on a case-by-case basis.
- Hollow vinyl materials and rails are not acceptable.
- Face nailed balusters to a bottom and top rail are not acceptable.
- High quality solid synthetic materials that resemble wood are acceptable for use as trim. Samples of the proposed material must be submitted with the application.
- Prefabricated metal buildings are not allowed along the city's entrance corridors.



## **BRICK AND PAINT COLORS – CORRIDOR COMMERCIAL**

Color is a major determinant of how successfully a building contributes to the streetscape in the City's entrance corridors. The choice of color should be compatible with Williamsburg's design traditions.

- Colors for brick should be red or muted earth tones.
- Mortar used for brick should be buff or gray or stained to match brick. White mortar is not recommended.
- Buildings shall be stained or sealed a natural earth tone or should be painted using colors from the following Benjamin Moore Williamsburg color palette. Colors with an \*\* and highlighted in red are not allowed for the body or siding of a building. If used they would be limited to doors, shutters, trim and windows.

### **White and Tan Color Range**

Harwood Putty CW-5	Capitol White CW-10	Parish White CW-15
Geddy White CW-20	Williamsburg Stone CW-25	Market Square Shell CW-30
Palace Tan CW-35	Lime White CW-95	Prentis Cream CW-100
Bracken Cream CW-105	Calcite CW-110**	Cornice Tan CW-115
Bracken Biscuit CW-120	Brush Beige CW-125	Coffeehouse Tan CW-130
Timson Sand CW-140	Brick House Tan CW-145	Randolph Bisque CW-185
Raleigh Tan CW-190	Chowning's Tan CW-195	Franklin White CW-200**
Galt Peach CW-210**	Byrd Beige CW- 365	Wythe Tan CW-415
Bruton White CW-710		

### **Brown and Black Color Range**

Raleigh Sorrell CW-135	Everard Coffee CW-150**	Revolutionary Storm CW-155**
Dixon Brown CW-160	Coffeehouse Chocolate CW-165	Tarpley Brown CW-170
Tucker Chocolate CW-175**	Bucktrout Brown CW-180**	Walnut CW-240**
Reid Brown CW-260	Charlton Brown CW-265	Mopboard Black CW-680**
Lampblack CW-695	Bone Black CW-715**	

### **Gray Color Range**

Tavern Gray CW-40	York Gray CW-45	Tyler Gray CW-50
Finnie Gray CW-55	Cole Stone CW-60	Gunsmith Gray CW-65**
Pelham Gray CW-70**	Randolph Stone CW-75	Carter Gray CW-80
Randolph Gray CW-85**	Tavern Charcoal CW-90	Powell Smokehouse CW-360**
Pearl CW-640**	Powell Gray CW-665**	Ambler Slate CW-685**
Bracken Slate CW-690**	Slate CW-700	Tucker Gray CW-705
Bone Black CW-715	Geddy Gray CW-720**	

### **Red Color Range**

St. George Red CW-245**	Carriage Red CW-250	Palace Arms Red CW-255
Nicholson Red CW-270	Cochineal Red CW-330**	

### **Green Color Range**

Gloucester Green CW-440**	Burwell Green CW-445**	Greenhow Moss CW-450**
Timson Green CW-470	Palmer Green CW-475**	Bassett Hall Green CW-480
Burgess Green CW-485**	Levingston Green CW-490	Russell Green CW-495**
Nicholson Green CW-500**	Windsor Green CW-505**	Waller Green CW-510
Palace Green CW-520**	Raleigh Green CW-525**	Colonial Verdigris CW-530**
Buffet Green CW-535**	Goodwin Green CW-555**	

**Blue Color Range**

Everard Blue CW-575\*\*  
Apollo Blue CW-645

Wetherburn's Blue CW-580  
Chiswell Blue CW-660

Washington Blue CW-630\*\*  
Brush Blue CW-675\*\*

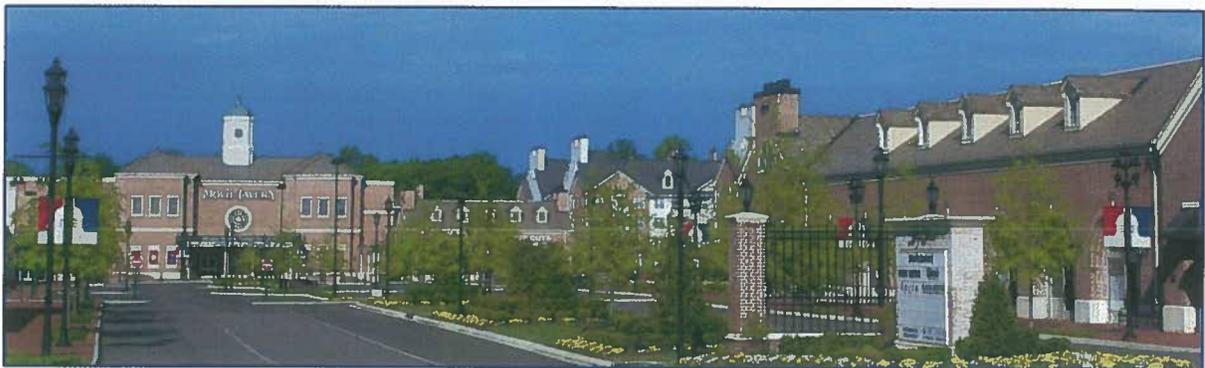
**Yellow and Gold Color Range**

Ludwell White CW-275  
English Ochre CW-290\*\*  
Massicot CW-380  
Governor's Gold CW-395  
Wythe Gold CW-420

Moir Gold CW-280\*\*  
Sweeney Yellow CW-370  
Coffeehouse Ochre CW-385  
Damask Yellow CW-400\*\*  
Scrivener Gold CW-430

Gamboge CW-285\*\*  
Tavern Ochre CW-375  
Bryan Ochre CW-390  
Chamber Yellow CW-410  
Everard Gold CW-435

- If colors are proposed that are not from the Benjamin Moore Williamsburg color palette, they may be acceptable on a case-by-case basis, provided specific color chips or samples to include the color name are submitted with the application.
- Clad windows and clad trim should conform to the same color standards as painted wood.
- Siding and trim should be limited to three colors on a building. Additional colors may be approved on a case-by-case basis with specific color samples being submitted with the application.
- Wood fences and decks must be painted or stained if it is necessary to complement the site or is required for maintenance of the materials.
- Existing commercial buildings may duplicate or match existing color schemes without approval from the Architectural Review Board.
- Any new color schemes for commercial buildings must be approved by the Architectural Review Board. New color schemes should respect the architectural style of the building and colors of existing signage for any businesses on the property.
- Painting over natural brick surfaces or naturally finished wood surfaces requires approval by the Architectural Review Board.



## **LIGHTING – CORRIDOR COMMERCIAL**

The purpose of lighting is to provide adequate safety for residents and visitors to the City. Lighting fixtures must be compatible with the structure and/or site on which they are installed, and with adjacent properties if visible from them. Poles, posts and light stanchions should be designed as an integral part of the site.

- Galvanized metal, bright colors and other visually intrusive materials should not be used. Height should be compatible with the existing scale.
- For developments requiring a site plan, the Police Department determines the minimum level of lighting required for security and safety. Lighting wattage and distribution are evaluated during the site plan review process. The Architectural Review Board may submit comments to the Site Plan Review Committee.
- Lighting intensity should be the minimum required to satisfy safety and security concerns, but no greater.
- Light should not distort colors and should not spill over onto adjoining properties, roadways, or in any way interfere with the vision of oncoming motorists or pedestrians.
- Site lighting should be of low intensity from a concealed light source fixture. However, decorative, low level intensity, non-concealed source lighting which defines vehicular and/or pedestrian ways may be acceptable if this is part of a lighting master plan showing the relationship of the fixtures and the light patterns to each other, to the overall site, and to the adjacent street(s). The use of non-concealed source lighting as general lighting for a development is not desirable.
- Landscape lighting should be visually unobtrusive during both the day and night. It should complement the architecture and outdoor spaces rather than spotlighting or outlining them.



## **GASOLINE AND OTHER CANOPIES – CORRIDOR COMMERCIAL**

Canopies greatly affect the visual character of a commercial corridor. Design, details, colors and light fixtures for canopies shall be submitted to the Architectural Review Board for approval.

- The design of canopies should build upon the overall design of the site to include the main building. Therefore, the height of canopies should not exceed the height of the main building.
- Cantilevered canopies are not recommended.
- Canopy supports should be proportional to the design and canopy size.
- Canopy colors should blend in with and be consistent with the main building and streetscape.
- Bright or glaring colors are not acceptable.
- Canopy lighting must be designed to minimize glare from the fixtures and installed to prevent spill over onto adjacent roads or properties.
- It is recommended that the material for the canopy match the building.



## **FENCES – CORRIDOR COMMERCIAL**

- Wood, aluminum and wrought iron fences are permitted. The maximum height allowed for fences located in a front yard is four feet with up to six feet being allowed for a side or rear yard.
- Salt-treated wooden fences must be painted or stained.
- Chain-link, wire, plastic, and vinyl fences are not permitted.
- The finished side must face the street and/or adjoining properties.
- Fences should contribute to the site's character and not detract from the site's principal architectural features and should be compatible with adjacent sites.
- Fences that disrupt the harmony of the streetscape by breaking up established architectural rhythms are discouraged.

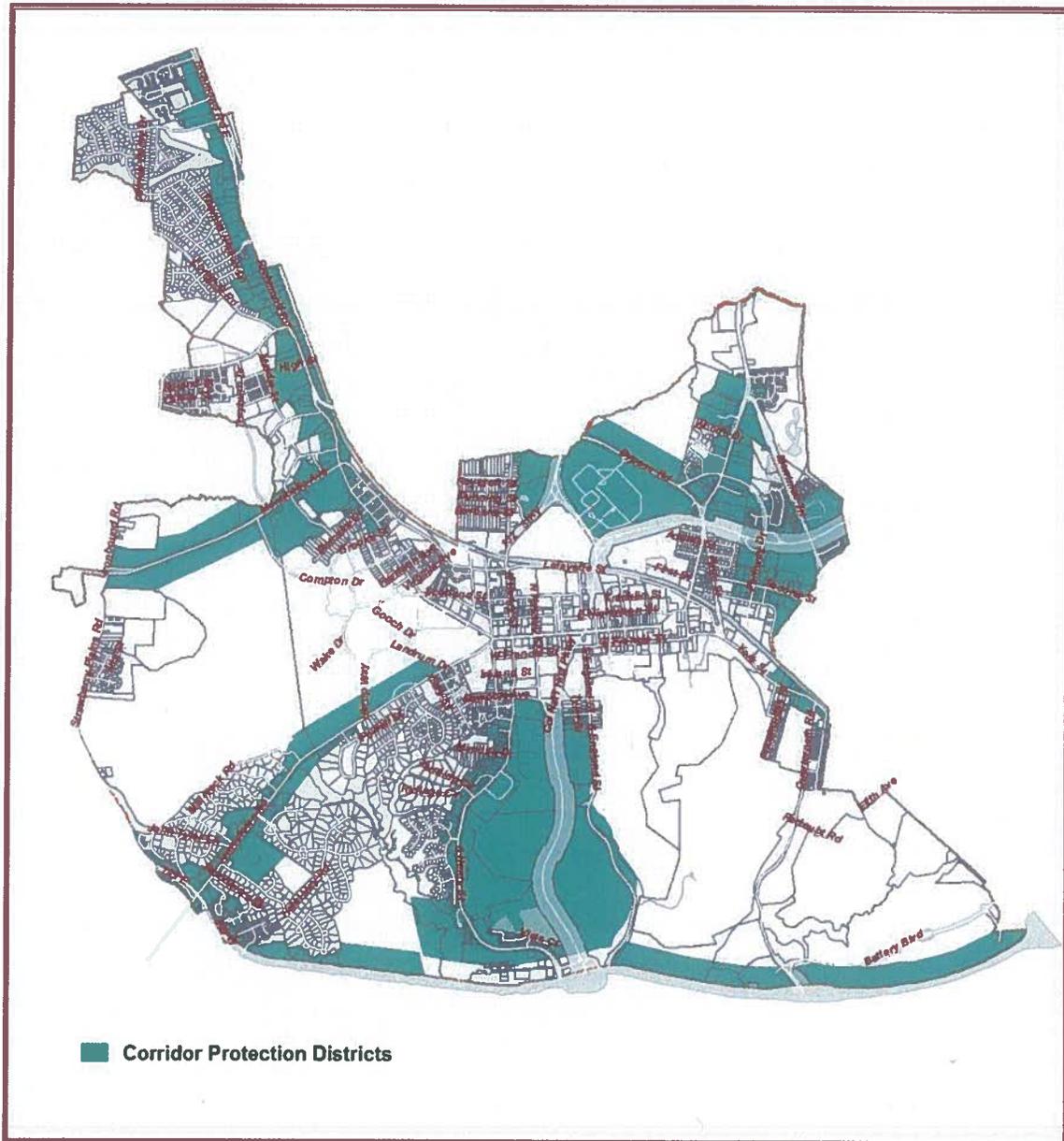
## **SITE ELEMENTS, SITING AND LANDSCAPE FEATURES – CORRIDOR COMMERCIAL**

- Site elements should contribute to the site's character and not detract from the site's principal architectural features and should be compatible with adjacent sites.
- Mechanical equipment and trash facilities should be located in a side or rear yard and screened with materials to match the building.
- Retaining walls if visible from the street shall be constructed of brick. Retaining walls not visible from the street may be constructed of brick, stone, block, timber or smooth finished concrete. If rails are required they should be constructed of wrought iron or aluminum and colored to blend in with the building.
- Site furnishings such as tables, chairs, benches, planters, flower pots, light poles, trash containers, bike racks and the like, must be submitted and approved by the Board on a case-by-case basis.

### **APPROVAL OF NEW MATERIALS**

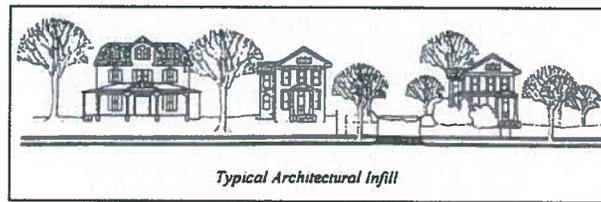
The Architectural Review Board will continue to review new materials on a regular basis and may approve them for use on a case-by-case basis. New materials may be presented to the Board during any regular meeting, and should include a sample of the material and the manufacturer's specifications for the material. If the Board feels that the *Design Review Guidelines* should be amended to include the new material, the Board may initiate an amendment to the Guidelines in accord with Article IX, Architectural Review, Sec. 21-853(h), of the Zoning Ordinance.

# CORRIDOR PROTECTION DISTRICTS



## CHAPTER VI CORRIDOR PROTECTION DISTRICT Residential Buildings

In the **Corridor Protection District**, construction should contribute to the improvement of the architectural and visual character of these major entrance corridors to the City and the Colonial Williamsburg Historic Area. It is important that new or replacement materials are of high quality and present a good appearance. The standards in this section refer to residential development including new development, additions and major renovations in the **Corridor Protection District**.



### **ARCHITECTURAL CHARACTER**

The purpose of these guidelines is to develop an overriding architectural quality of design for residential buildings in the commercial corridors. A consistent high quality of architectural design and building maintenance will improve the image of the corridors and contribute to a pleasing appearance along the major entryways in our community. Construction should respect the overall streetscape, and should preserve and enhance the natural features present on the project site.

- These guidelines describe a range of prescriptive architectural practices that can be employed in numerous ways, but still assure that any new construction, addition or alteration of existing buildings are done in such a way as to compliment and contribute to the existing scale and character in these corridors.
- Architecture for new buildings or additions should not replicate or imitate historic buildings, but be an evolution of and compatible with Williamsburg's design traditions, forms and materials.
- Replications of 18<sup>th</sup> century buildings are not acceptable.
- Traditional architectural styles associated with Williamsburg provide flexibility of design and innovative possibilities for responding to the existing pattern of development for the residential sections of the corridors, thus fitting into and building up patterns along the corridors. This includes Georgian, Queen Anne and colonial revival styles as well as bungalows and four square forms.
- Adaptations of these architectural styles ensure long-term compatibility within the city and enhance opportunities for adaptive use of buildings.
- Exceptional contemporary architectural designs should address the unique site requirements and relate successfully to nearby styles and architecture. Sensitively designed modern architecture contributes vitality and cultural continuity to these corridors. In particular, public buildings in the city are typically of modern design.
- Sustainable design and the creative use of sustainable materials will be reviewed on a case-by-case basis depending on the design of the building.

## **NEW RESIDENTIAL BUILDINGS AND ADDITIONS**

New designs should contribute to a sense of visual coherence in the corridors. For example, in a neighborhood of two-story, vertically oriented houses (Colonial Revival, Victorian, etc.) an infill project with a one-story, horizontally oriented design such as a Ranch house may not be appropriate.

The designer for infill construction should examine and evaluate the structural and natural forms that will affect the project and should creatively design a compatible solution that respects the scale and palette of neighboring architectural features.

The construction of modern tract house designs for single-family dwellings, townhomes and condominiums are not acceptable in the **Corridor Protection District**. Buildings should be designed for the specific site using building materials and construction techniques found in the city, rather than the design language of modern developer built spec houses.

- There are a wide range of materials that are used in the construction of building walls in the corridors. Acceptable materials for residential buildings are brick, wood and cementitious siding.
- Materials such as vinyl, aluminum, metal siding, synthetic stucco, and tile faced or ceramic-faced masonry units, varnished, epoxy-finished or otherwise shiny materials are not permitted for new construction.
- Wood and cementitious siding should be horizontal with a six to eight inch exposure.
- Cedar shingles may be used on select elements of a building, such as dormers or attic level gable ends depending on the proposed style of the building. In general, shingles may be combined with wood siding when the material change occurs horizontally, typically at a floor line or gable end. Shingles may be square cut or scalloped with a maximum of ten inch exposure.
- Cladding material needs to reflect the style and design of the building.
- Any wall should be built of not more than two materials, and those materials should change along a horizontal line such as a floor line or gable end. The heavier material such as brick should always be below the lighter material such as wood or cementitious siding.
- Side and rear elevations should relate to the design elements and materials of the front elevation.
- Small additions may be constructed with the same type of siding that is on the building provided it matches the existing siding material in color, size and thickness.
- Buildings with siding require foundation walls and piers of finished brick. Walls should be no less than 24 inches above grade, but should not exceed 36 inches, unless grade changes dictate more. Basements should meet this requirement unless grade changes dictate more.
- Building siting should be consistent with the street elevation, site topography and adjacent buildings. Unusual site conditions may warrant exceptions which may be approved on a case-by-case basis.

- Wood and high quality solid synthetic trim that resembles wood such as cellular PVC and cementitious boards are permitted. Samples of synthetic trim must be provided for review with the application.
- All wood siding, wood shingles and wood trim shall be sealed with paint or an opaque stain.
- Mortar used for brick should be buff or gray. White mortar is not recommended.



## **DOORS – CORRIDOR RESIDENTIAL**

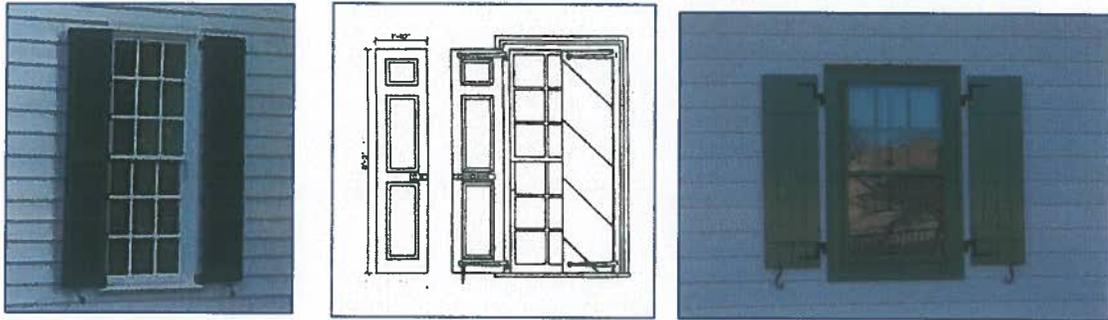
- Entrance doors should be wood or fiberglass with panels or some variation thereof. Windows, side lights and transoms in entrance doors are permitted, provided that they are proportioned and appropriate to the specific style of the building.
- If entrance doors with windows have mullions/muntins they must be on the exterior.
- Flush doors with applied trim are not permitted.
- Garage doors, utilities doors, and service doors should be painted wood, aluminum or fiberglass and should correspond with the style of the building.
- Storm doors should be made of painted wood or anodized aluminum and have a full view window. Storm doors should relate to the architectural character of the entrance.
- Screen doors should be made of wood or aluminum with full view, shuttered, or appropriate for the specific style of the building.



## **WINDOWS AND SHUTTERS – CORRIDOR RESIDENTIAL**

- Wood, vinyl clad wood, pre-finished aluminum clad wood and cellular PVC windows are permitted. Extruded windows are not permitted. Other types may be submitted for approval on a case-by-case basis.
- High quality synthetic windows may be approved on a case-by-case basis. Applicants must provide the AAMA/WDMA/CAS101/I.S.2/A440-11 certification reference, manufacturer's warranty (minimum 15-year), local examples of existing installation with a duration of at least 5 years, and how long the manufacturer has been in business (recommended length of business is at least as long as the warranty period).
- Windows should be rectangular, single, double, or triple hung or operable casement type. Semi-circular, circular, or hexagonal windows are permitted, but with minimal application. Windows on the ground floor should be the same proportion but slightly larger than the windows on the upper floors. Window openings in upper floors should be centered directly over openings in the first floor whenever possible. Openings in gable ends should be centered. Window openings should be at least two feet from building corners. Total glazed on the street frontage should not exceed 30 percent of the total surface.

- True divided lights or simulated true divided lights are permitted; however mullions/muntins if used must be on the exterior of the window. If mullions/muntins are used care should be taken to ensure a consistent pane size between windows.
- Wood, solid PVC and solid composite shutters are permitted. Shutters must contain appropriate hardware to appear operable. Shutters nailed to the side of a building without appropriate hardware are not permitted.



## **ROOFS – CORRIDOR RESIDENTIAL**

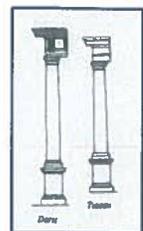
- Wood shingles, slate, synthetic slate, architectural grade fiberglass shingles, cementitious shingles and standing seam metal roofs are permitted. High quality synthetic slate roofs must meet the following minimum standards: Impact UL 2218-Class 4, Accelerated Weathering ASTM 4798—little or no color changes, and Freeze-thaw ICC-ES Acceptance Criteria ACO7 Section 4.9—no crazing, cracking or other adverse surface changes, which must be provided with the application.
- Metal roofs are recommended for porch roofs or other ancillary elements. Metal should be copper or galvalume type. Other colors may be acceptable on a case-by-case basis.
- Non glossy colored anodized metal roofs should be gray, black, brown dark green or other earth tones. Flashing may be copper, vinyl or anodized aluminum.
- Copper roofs, gutters and flashing should not be painted or sealed but should be permitted to age naturally.
- The types of wood-framed roofs typically fall into categories of symmetrical gables, gambrels, or hip roofs. Gables are the most prevalent. On one-story houses primary roofs should have slopes no less than 7:12. Secondary roofs may have slopes less than 7:12 depending on the material used (i.e. metal roof over porches can be less than 7:12). On residential structures, flat roofs should be used only on porches directly accessible from outdoors. These must have appropriate parapets or railings.
- Roofs on two-story houses may be as low as 4:12 and no steeper than 12:12.
- Gable roof ends should have a minimum overhang of 12 inches.
- Steep gable roofs like the “Swiss Chalet” shall not be used (pitches in excess of 14:12).
- Single plane pitch roofs i.e. shed roofs for houses shall not be used on the main house but can be used on wings.

- Roofs over a secondary entrance should be shed roofs supported by brackets.
- Roof penetrations should be on the rear slope of roofs and painted to match the color of the roof. Skylights or solar panels should be mounted on the rear slope of the roof, colored to match the roof and not be visible from the street.
- Dormers should have gabled, hipped, or shed roofs.
- Gutters and downspouts should be made of copper or anodized aluminum and may be half-round or ogee. Where gutters are not used, it is recommended that brick or gravel be placed at the drip line.



### **PORCHES, DECKS, TERRACES, STOOPS AND RAILS – CORRIDOR RESIDENTIAL**

- Porches with a narrow frontage should be no less than six feet deep, while porches with a wide frontage should be at least eight feet deep.
- Porches, decks, terraces and stoops should be constructed of wood or solid synthetic materials that resemble wood. If synthetic materials are proposed a sample of the proposed synthetic material must be submitted with the application for review.
- Materials for railings may be wood, wrought iron, steel or aluminum and should be designed to complement the architectural design of the building. Synthetic railings will be considered on a case-by-case basis.
- Modern deck designs are not appropriate for the front or sides of a building.
- Face nailed balusters to a bottom and top rail are not acceptable.
- Decks should be located in the rear and must be painted or stained to match the main building.
- When decks exceed 36" in height above grade the supports must be designed proportionally.
- Hollow vinyl materials and rails are not acceptable.
- Screened porches should be located on the side or rear of the building.
- Columns are preferred to be Tuscan or Doric orders, although other types exist within the area. When used, columns should have correct proportions and profiles as described in *The American Vignola* and other traditional pattern books.
- Columns may be made of wood, although certain grades of fiberglass columns and cellular PVC are acceptable.
- All square posts should be no less than 5x5 inches.
- Wood columns and posts should be sealed with paint or opaque stain.
- Stoops at secondary entrances should be made of wood, brick or concrete. If made of concrete the sidewalls and stair risers should be faced with brick.



### **CHIMNEYS – CORRIDOR RESIDENTIAL**

- Chimneys can be used but are not required. They should be constructed of brick (unpainted) or if constructed with the same material as the siding of the building, painted to match the building.
- Stucco is not permitted.
- Chimneys should be capped to conceal spark arresters.
- Primary chimneys should be rectilinear in design and are preferred to have a corbelled termination in keeping with existing types.



### **OUTBUILDINGS – CORRIDOR RESIDENTIAL**

- Outbuildings must meet the same criteria (i.e. walls, openings, roof etc.) as noted above for the main building.
- Metal outbuildings are not permitted.



## **FENCES – CORRIDOR RESIDENTIAL**

- Wood, aluminum and wrought iron fences that are in keeping with a residential scale are permitted. The maximum height allowed for fences located in a front yard is four feet with up to six feet being allowed for a side or rear yard.
- Salt-treated wooden fences must be painted or stained.
- Chain-link, wire, plastic, and vinyl fences are not permitted.
- The finished side must face the street and/or adjoining properties.
- Fences should contribute to the site's character and not detract from the site's principal architectural features and should be compatible with adjacent sites.
- Fences that disrupt the harmony of the streetscape by breaking up established architectural rhythms are discouraged.



## **SITE ELEMENTS, SITING AND LANDSCAPE FEATURES – CORRIDOR RESIDENTIAL**

- Site elements should contribute to the site's character and not detract from the site's principal architectural features and should be compatible with adjacent sites.
- Mechanical equipment and trash facilities should be located in a side or rear yard and screened with a fence which must be stained or painted to match the building.
- Retaining walls in front yards shall be constructed of brick. Retaining walls not located in a front yard and visible from the street may be constructed of brick, stone, block, or smooth finished concrete. If rails are required they should be constructed of wrought iron or aluminum and colored to blend in with the building.
- Site furnishings such as tables, chairs, benches, planters, flower pots, light poles, trash containers, bike racks and the like, must be submitted and approved by the Board on a case-by-case basis.



## **ACCEPTABLE COLORS – CORRIDOR RESIDENTIAL**

- Buildings shall be stained or sealed a natural earth tone or should be painted using colors from the following Benjamin Moore Williamsburg color palette. Colors with an \*\* and highlighted in red are not allowed for the body or siding of a building. If used they would be limited to doors, shutters, trim and windows.

### **White and Tan Color Range**

Harwood Putty CW-5	Capitol White CW-10	Parish White CW-15
Geddy White CW-20	Williamsburg Stone CW-25	Market Square Shell CW-30
Palace Tan CW-35	Lime White CW-95	Prentis Cream CW-100
Bracken Cream CW-105	Calcite CW-110**	Cornice Tan CW-115
Bracken Biscuit CW-120	Brush Beige CW-125	Coffeehouse Tan CW-130
Timson Sand CW-140	Brick House Tan CW-145	Randolph Bisque CW-185
Raleigh Tan CW-190	Chowning's Tan CW-195	Franklin White CW-200**
Galt Peach CW-210**	Byrd Beige CW-365	Wythe Tan CW-415
Bruton White CW-710		

### **Brown and Black Color Range**

Raleigh Sorrell CW-135	Everard Coffee CW-150**	Revolutionary Storm CW-155**
Dixon Brown CW-160	Coffeehouse Chocolate CW-165	Tarpley Brown CW-170
Tucker Chocolate CW-175**	Bucktrout Brown CW-180**	Walnut CW-240**
Reid Brown CW-260	Charlton Brown CW-265	Mopboard Black CW-680**
Lampblack CW-695	Bone Black CW-715**	

### **Gray Color Range**

Tavern Gray CW-40	York Gray CW-45	Tyler Gray CW-50
Finnie Gray CW-55	Cole Stone CW-60	Gunsmith Gray CW-65**
Pelham Gray CW-70**	Randolph Stone CW-75	Carter Gray CW-80
Randolph Gray CW-85**	Tavern Charcoal CW-90	Powell Smokehouse CW-360**
Pearl CW-640**	Powell Gray CW-665**	Ambler Slate CW-685**
Bracken Slate CW-690**	Slate CW-700	Tucker Gray CW-705
Bone Black CW-715	Geddy Gray CW-720**	

### **Red Color Range**

St. George Red CW-245**	Carriage Red CW-250	Palace Arms Red CW-255
Nicholson Red CW-270	Cochineal Red CW-330**	

### **Green Color Range**

Gloucester Green CW-440**	Burwell Green CW-445**	Greenhow Moss CW-450**
Timson Green CW-470	Palmer Green CW-475**	Bassett Hall Green CW-480
Burgess Green CW-485**	Levingston Green CW-490	Russell Green CW-495**
Nicholson Green CW-500**	Windsor Green CW-505**	Waller Green CW-510
Palace Green CW-520**	Raleigh Green CW-525**	Colonial Verdigris CW-530**
Buffet Green CW-535**	Goodwin Green CW-555**	

### **Blue Color Range**

Everard Blue CW-575**	Wetherburn's Blue CW-580	Washington Blue CW-630**
Apollo Blue CW-645	Chiswell Blue CW-660	Brush Blue CW-675**

### **Yellow and Gold Color Range**

Ludwell White CW-275	Moir Gold CW-280**	Gamboge CW-285**
English Ochre CW-290**	Sweeney Yellow CW-370	Tavern Ochre CW-375
Massicot CW-380	Coffeehouse Ochre CW-385	Bryan Ochre CW-390
Governor's Gold CW-395	Damask Yellow CW-400**	Chamber Yellow CW-410
Wythe Gold CW-420	Scrivener Gold CW-430	Everard Gold CW-435

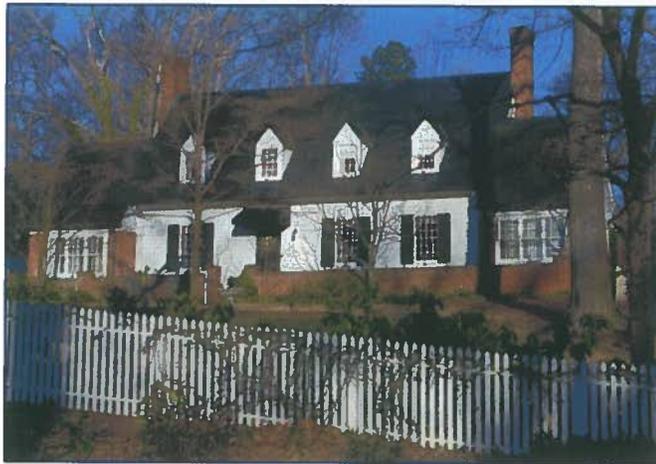
- Painted siding and trim should be limited to two colors from the approved color palette unless additional colors are approved by the Architectural Review Board on a case-by-case basis. A third color may be used for shutters and doors.
- Additional paint colors from the approved color palette may be approved on a case-by-case basis.
- Wood fences and decks must be painted or stained if this is necessary to complement the site or is required for maintenance of the materials.
- If colors are proposed that are not from the approved color palette they may be approved by the Architectural Review Board on a case-by-case basis. Specific color chips or samples to include the color name must be submitted with the application.



## **EXISTING RESIDENTIAL BUILDINGS – CORRIDOR RESIDENTIAL**

Maintaining and repairing historic architectural features such as siding, trim, doors, windows and other architectural features or details is important in preserving the remaining historical buildings in the City. Conservation is preferable to reconstruction because it preserves evidence of past building practices and construction techniques by retaining original materials.

- Residential buildings with original wood siding, trim, windows and architectural features should be retained and repaired.
- If replacement is necessary because of severe deterioration any replacement should match or duplicate the existing material or product. Matching an existing material or product does not require approval by the Architectural Review Board.
- Any change in material requires approval from the Architectural Review Board.
- For specific materials that are allowed refer to the New Buildings and Additions section above for the ***Corridor Protection District***.
- Storm windows should be full view and constructed of wood or aluminum.
- For buildings with synthetic materials such as aluminum and vinyl or a material no longer available such as asbestos or Masonite replacement with other siding may be acceptable if approved by the Architectural Review Board.
- For guidance on rehabbing older buildings see Chapter IX Rehabilitation.



## **APPROVAL OF NEW MATERIALS**

The Architectural Review Board will continue to review new materials on a regular basis and may approve them for use on a case-by-case basis. New materials may be presented to the Board during any regular meeting, and should include a sample of the material and the manufacturer's specifications for the material. If the Board feels that the ***Design Review Guidelines*** should be amended to include the new material, the Board may initiate an amendment to the Guidelines in accord with Article IX, Architectural Review, Sec. 21-853(h), of the Zoning Ordinance.



## CHAPTER VII SIGNS

It is the intent of the signs section of the *Design Review Guidelines* to ensure that new signs enhance the visual image of the property, complement the existing conditions along the street, and are compatible with the goals for signage in Article VI Signs of the Zoning Ordinance.

The City Sign Ordinance determines the size, number, location and type of signage allowed in given sign districts throughout the City. Designs for new signs or modifications to existing signs in the **Architectural Preservation Districts** and the **Corridor Protection District** must receive the approval of the Architectural Review Board before sign permits are issued.

The following sign districts are located in the City:

**Colonial Williamsburg Sign District** is located in the Colonial Williamsburg Historic Area and allows small historic signs of a modest scale and illumination.

**Residential Sign District** includes residential neighborhoods along the entrance corridors and typical signs include subdivision identification and room rental to visitors which must be externally illuminated.

**Downtown Sign District** includes Merchant's Square and the surrounding areas and allows signs that are compatible with the pedestrian character of the area.

**Corridor Sign District** includes the major entrance corridors into the city, and allows larger signs with external and internal illumination.

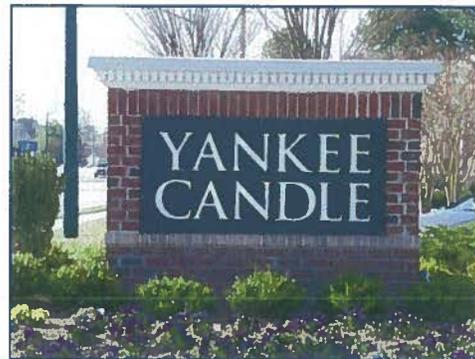
**Arts and Cultural Sign District** is located in the Arts and Cultural District and allows more flexibility for colors and design.



In the **Architectural Preservation Districts**, it is the intent of the Guidelines to ensure that all signs maintain and enhance the aesthetic environment of the Colonial Williamsburg Historic Area and surrounding neighborhoods and commercial areas. Signs should respect the architectural features of the related building and positively contribute to the visual appearance of the streetscape.

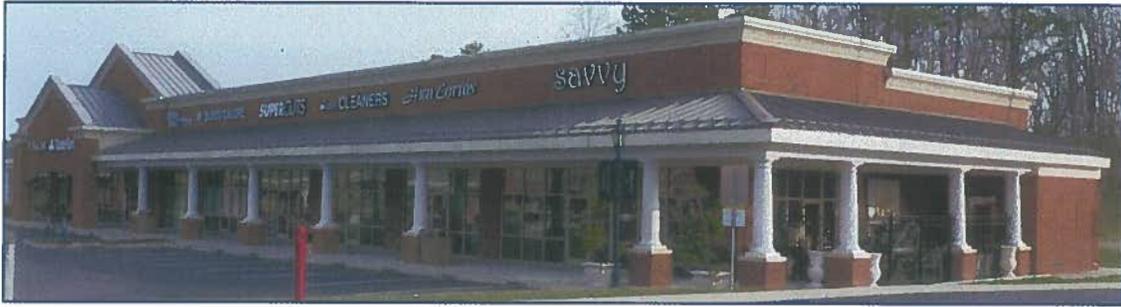


In the **Corridor Protection District** signs should be incorporated into the site plan design and should positively contribute to the improvement of the aesthetic character of the streetscape.



## **DESIGN OF SIGNS**

The design of signs should be compatible with the architectural character of the related building and its site. Materials, colors and lettering on all signage for the identified business should be uniform throughout the site and should be compatible with the related building.



### **Sign Design Guidelines:**

- The graphic design should be simple in approach and generally should reflect only the business logo, and the nature of the business or service.
- Signs should not appear busy, cluttered or crowded.
- Materials and design should be compatible with the design of the building.
- No pictures, scenes or illustrations.



### **Monument & Freestanding Signs:**

- A monument sign is a ground mounted sign mounted on a contiguous base having a minimum width of at least 90 percent of the sign and its supporting structure.
- A freestanding sign is supported by one or more columns, uprights or braces, in or upon the ground, but not attached to a building.
- For specific sizes and height requirements allowed see Article VI Signs in the Zoning Ordinance.
- The height of the base for a monument sign shall not exceed more than 50 percent of the height of the sign face.
- Sign bases should be a part of the overall sign design and should complement the sign face. Any planting must be indicated on a site plan and submitted with the sign package.

- For monument or free-standing signs both sides of a double face sign element should line up so that a blank space is not visible from the opposite side (e.g. the sign faces should line up when viewed from either side).
- If pole covers are used the width of the pole cover must be at least 90 percent of the sign width and its supporting structure. It must be simple in design and its color must coordinate with the sign face and building.
- No more than three typefaces/fonts are recommended per sign.
- For monument and freestanding signs, lettering height should be between eight and 15 inches. Exceptions may be approved on a case-by-case basis depending on the sign design, distance from the street and compatibility with the streetscape.
- Where more than one business or occupant shares a building, it is recommended that a master sign plan be submitted by the property owner. If multiple monument or freestanding signs are allowed they should be located in separate areas of the site for readability and clarity rather than grouped together in one area.
- For longer messages, the use of uppercase and lowercase lettering is recommended since it is easier to read than all uppercase lettering.
- Reader boards are only allowed in the **Corridor Sign District** and cannot exceed more than 25% of the allowable signage.
- Exposed neon tubing is not permitted.



### **Building Mounted Signs:**

- A building mounted sign is any sign attached to, painted on, inscribed upon or deriving its major support from a building, including a wall sign, a projecting sign or an awning sign. Signs attached to or painted on a gasoline pump island or canopy shall be considered a building mounted sign. Permanent signs painted on windows or doors, attached to windows or doors, or hung behind and within three feet of windows or doors, either illuminated or non-illuminated are considered building mounted signs.
- Materials and design should be compatible with the design of the building.
- They should be designed to enhance the façade by blending with the architectural features of the building and not merely applied to the surface.
- They should not cover or obscure decorative architectural details or overwhelm the façade of the building.
- For specific sizes allowed see Article VI Signs in the Zoning Ordinance.
- Where more than one business or occupant shares a building, it is recommended that a master sign plan be submitted by the property owner.
- Exposed neon tubing is not permitted (unless allowed by the Zoning Ordinance).
- For longer messages, the use of uppercase and lowercase lettering is recommended since it is easier to read than all uppercase lettering.
- For building mounted signs, lettering should be sized for readability from the intended observer's location and consistent with other adjacent nearby signage. Unnecessarily large or small lettering is discouraged. Lettering height should be between nine and 24 inches in height.
- Sign bands should be of consistent height and size along the building façade and throughout the block if possible and where appropriate.



## **COLORS OF SIGNS**

The color of signs plays an important part in the overall appearance and should be uniform throughout the site. Colors of architectural details on the building or site may suggest signage colors.

### **Sign Color Guidelines:**

- The background for illuminated signs must be a dark opaque color (day and night) with light translucent lettering which allows the sign to be legible and reduce glare.
- Non-illuminated signs may have a light or dark background.
- It is recommended that no more than three colors be used for a sign unless a pictorial or logo uses additional colors which may be approved on a case-by-case basis.
- Sign supports shall be made of dark, neutral or subdued colors to de-emphasize them.
- Color schemes should relate to or match the colors of the building on site.
- Day glow, metallic or fluorescent colors are not allowed.
- Colors used should be selected from the Benjamin Moore Williamsburg color palette (Chapter V, page 15) or the Avery 900 Supercast Opaque Films for backgrounds and Avery Ultimate & Premium Cast Translucent Films for lettering, graphics and logo from the list below:

### **Background Colors for Internally Illuminated Signs from the Avery 900 Supercast Opaque Films Palettes**

<b>Matte Black</b>	<b>Black</b>
<b>Imitation Gold</b>	<b>Apricot</b>
<b>Orange</b>	<b>Tomato Red</b>
<b>Cardinal Red</b>	<b>Dark Red</b>
<b>Apple Red</b>	<b>Burgundy</b>
<b>Burgundy Maroon</b>	<b>Deep Purple</b>
<b>Majestic Blue</b>	<b>Nautical Blue</b>
<b>Medium Blue</b>	<b>Sapphire Blue</b>
<b>Light Navy</b>	<b>Dark Blue</b>
<b>Dark Navy Blue</b>	<b>Bright Green</b>
<b>Forest Green</b>	<b>Deep Green</b>
<b>Dark Green</b>	<b>Dark Grey</b>
<b>Medium Marine Grey</b>	<b>Cocoa</b>
<b>Brown</b>	

**Lettering, Graphics and Logo Colors for Internally Illuminated Signs from the Avery Ultimate & Premium Cast Translucent Films Palette**

White  
Orange  
Beige Pantone 155 C  
Cardinal Red  
Poinsettia  
Blue Pantone 277 C  
Blue Pantone 285 C  
Cobalt Blue  
Real Green  
Green Pantone 349 C  
Light Gray Pantone 427C

Yellow Pantone 116 C  
Off-White Pantone 7500 C  
Medium Beige Pantone 466 C  
Red  
Burgundy  
Blue Pantone 279 C  
Blue Pantone 290 C  
Real Blue  
Green Pantone 7483 C  
Holly Green  
Gray Pantone 430C

**Colors from 800 Premium Cast Translucent Films**

White  
Black  
Sunflower Yellow  
Cardinal Red  
Medium Green  
Bottle Green

Sultan Blue  
Royal Blue  
Twilight Blue  
Red  
Wine  
Bruin Brown

- Color approval will be based on the sign district as noted below:  
In the **Downtown** and **Residential Sign District** the use of vibrant and bright primary colors will not be allowed unless the sign design is exceptional and is approved on a case-by-case basis.  
The **Corridor Sign District** will allow a larger range of colors from the color palettes.  
Signs located within the **Arts & Cultural Sign District** will allow more colors than three and a broader color range to allow for vibrancy in the district which will be approved on a case-by-case basis.
- Pictorial signs are recommended in the **Arts & Cultural Sign District**. They can be on a pole with an iron bracket at the top or on two posts.
- If colors proposed are not from the approved lists above, a specific color sample of the proposed color must be submitted with the application for review on a case-by-case basis.



## **ILLUMINATION OF SIGNS**

When illuminated signs should be spot lighted or back lighted with a diffuse light source. Spot lighting should be shielded so it does not spill over onto adjacent properties or into motorists' eyes. Backlighting should illuminate the letters, characters or graphics on the sign but not the sign's background, even at night.

### **Illumination Guidelines:**

- Internally illuminated signs are not permitted for the **Downtown or Residential Sign Districts.**
- Internally illuminated signs must contain a dark opaque background that remains opaque at night. This is required so that light shines through the lettering, logo and graphics only and reduces the "glaring" white box effect that often results when transparent light-colored plastic is used for sign backgrounds.
- Lettering, logos and graphics must use translucent colors.
- The specific fixture(s) used for external illumination must be submitted as part of the sign application for review by the Board. The application must also note the specific wattage for the fixture to help determine the amount of illumination and possible glare onto neighboring properties.



## CHAPTER VIII AWNINGS

Awnings should contribute to the appearance of a building and the visual character of the streetscape. Therefore, the choice of colors and the design of awnings are critical in the **Architectural Preservation Districts** and the **Corridor Protection District** because of their high visibility. The following standards are designed to improve the visual character of buildings and the streetscape:

- Awnings should accent the building façade and not overwhelm the building or streetscape.
- Any logos or lettering on the awning is considered signage and must be within the allowable sign area for the business.
- Fabric awnings are allowed and should have side panels.
- Vinyl and plastic awnings are not allowed.
- Colors should be limited to two, excluding the logos and lettering.
- Fabric patterns should be muted and compatible with the building and sign color scheme with colors from the approved color palette. The use of neon and day glow colors is not allowed.
- Backlit awnings or lighting systems designed to up-light awnings are not allowed.
- Sizes and styles of awnings should be uniform throughout the site and should be compatible with the building and sign color schemes.
- Coordinated awning design with consistent heights and compatible awning colors is recommended for multiple tenant buildings.



## CHAPTER IX REHABILITATION

It is the intent of the Rehabilitation section of the *Design Review Guidelines* to ensure that any building projects, which create an exterior change or an addition to an existing building, are in keeping with the character of the building and with the surrounding area.

According to the Secretary's Standards (Chapter XII, Appendix 3), rehabilitation is the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural value. (A glossary of rehabilitation definitions is included in Chapter XII, Appendix 7). Rehabilitation includes maintenance, repair, alterations and additions. It is recommended that owners of historic and significant buildings maintain their properties according to these standards to protect the special qualities, which characterize that building and its site. If a building is listed on the State or National Registers, it is especially important for applicants to the Architectural Review Board to consult the *Secretary's Standards* prior to making any changes to the building. To be eligible for Federal Tax Incentives, a rehabilitation project must meet all ten of the Secretary's Standards.

### MAINTENANCE

In order to protect the integrity of any building in the **Architectural Preservation Districts**, particularly buildings and neighborhoods listed on or eligible for the National Register of Historic Places, (Chapter XII, Appendix 1), and to prevent the loss of architectural elements due to the effects of weather and decay, an ongoing maintenance program is necessary. This phenomenon of demolition by benign neglect can be averted by regular maintenance; i.e. painting, cleaning of gutters, roofing, window glazing, caulking of joints, nest removal, repointing of brickwork, etc. Historic materials should be cleaned gently, without harsh chemicals or tools, and brickwork should never be sandblasted.

### REPAIR

Any replacement of siding, roofing materials, windows, etc. which duplicates or matches existing materials and color schemes on the building does not need to be approved by the Architectural Review Board. However, the Architectural Review Board recommends, if feasible; that property owners repair historic architectural features rather than replace them when materials begin to deteriorate.

Conservation is preferable to reconstruction because it preserves evidence of past building practices and construction techniques in original materials. The use of synthetic siding on an older building is discouraged because of the structural damage it can cause when applied over problem areas and because of the obliteration of architectural details.

Correcting the cause of deterioration, rather than covering up the symptom with artificial siding will ultimately prolong the life of the building and maintain its integrity.

When replacement or reconstruction of important architectural features, such as porches, cornices, decorative window and door trim and molding, etc., is necessary on buildings in **Architectural Preservation Districts**, it is recommended that the replacement feature create an accurate duplication of the original feature as possible. If substantial renovations are proposed which would remove important elements from a building listed on or eligible for the National Register of Historic Places (Chapter XII, Appendix 1), then these elements need to be photographed and submitted to the Planning Department along with the application to the Architectural Review Board. The property owner has the option to allow the City access to the property to photograph the historic element which is proposed to be removed. It is recommended that the applicant check with the Planning Department for available information on the property to avoid duplication of reporting.

## **ALTERATIONS**

Before considering a major alteration of a building listed on or eligible for the National Register of Historic Places (Chapter XII, Appendix 1), owners should explore the potential of the building for rehabilitation. Many older buildings are suitable for adaptive re-use projects. If the building is a certified historic building and the Secretary of Interior has approved the proposed rehabilitation project, a federal tax incentive program is available through the State government for commercial projects. The property owner should thoughtfully consider the return expected from the property and the ability of the building to provide this return in both its present state and in a rehabilitated state. In addition the property owner should consider the possibility that the building could be adapted for a low impact use, i.e. residential, office, day care, community center, bank, financial institution, museum and art galleries etc.

Rehabilitation of any building within **Architectural Preservation Districts** or the **Corridor Protection District** should not modify a building so that the result is a building decorated with architectural features of an era pre-dating the building or the style involved. In addition, property owners planning to restore a building back to its "original" appearance should consider the significance of subsequent modifications to the building and/or site and the role they play in defining the character of the property. The additions and alterations created by previous property owners often play a large role in defining the significance of the building and their removal may jeopardize the integrity of the building. (The house at 520 Jamestown Road is such an example where the unique character of the property is the result of a substantial Victorian era addition on the original early 19<sup>th</sup>-century house.) It is recognized, however; that there are situations where complete restoration of a structure or building is warranted or beneficial, i.e. the Colonial Williamsburg Historic Area.

Rehabilitations should be sensitive to the building's distinctive stylistic features. Unsympathetic cosmetic alterations, which would remove or adversely affect important stylistic details, are discouraged. Examples include:

1. The addition of monolithic picture windows on the street-side elevation which disrupts the stylistic relationship of window space to wall space on the façade.
2. The application of artificial siding so that architectural details are boxed over or removed and windows recede behind the siding.
3. The addition of, or replacement with, inappropriate stylized windows or doors; i.e. diamond-paned windows, projecting box window, "country" paneled and scrolled storm doors, etc..
4. Enclosure of front porches with under-or-over-scaled windows and siding.

Alterations should be compatible with the stylistic elements on the building, such as materials, proportions, window and door arrangements, decorative trim and cornice details, etc. It is recommended that elements that strongly contribute to the character of the building such as trim details and porches be retained. Modernizations that create extensive exterior changes to a building are more appropriate on the rear or secondary facades of the building. There may be occasions when it is not possible to restrict the renovations to the rear of the building and when it might be preferable to alter the primary elevation of the building.

In **Architectural Preservation Districts** before rehabilitation of any building listed on or eligible for the National Register of Historic Places (Chapter XII, Appendix 1) is undertaken which would substantially alter the features of the building or remove significant architectural elements, these elements need to be photographed and submitted to the Planning Department with the application to the Architectural Review Board. The property owner has the option to allow the City access to the property to photograph the historic element which is proposed to be removed or altered. It is recommended that the applicant check with the Planning Department for available information on the property to avoid duplication of reporting.

### **ADDITIONS**

Additions to buildings in **Architectural Preservation Districts** should be sympathetic to the building. Contemporary designs for alterations and additions may be appropriate if they do not destroy the significant historical, architectural or cultural features of the original building and if the design is compatible with the size, scale, color, material and character of the property and neighborhood. If an addition is proposed on a primary façade of the building, the architectural features, materials and massing of the addition should respond to the elements existing on the building. It is not necessary for the design of the addition to duplicate the architectural elements on the original building in order to be compatible. There may be occasions when duplication is preferable to preserve the symmetry of the building. It may be appropriate for additions on rear or secondary facades to have more independent designs, but the additions should still respect the proportions of the existing building and the scale of the surrounding

neighborhood. Any additions or alterations should be designed so that if subsequent owners wish to remove them, it would be possible to do so without impairing the essential form and integrity of the building. Additions to buildings in the **Corridor Protection District** will be reviewed for appearance, good design principles, appropriateness to the site and the City, and compatibility with surrounding sites. Contemporary designs are encouraged if the design is compatible with the size, scale, color, material and character of the property and neighborhood.

### **ZONING WAIVERS**

Due to peculiar conditions of design and construction in older neighborhoods in the **Architectural Preservation Districts**, some older buildings may not meet current zoning requirements. In order to maintain the special character of these neighborhoods, the Architectural Review Board may make recommendations to the Planning Commission and the Board of Zoning Appeals for exceptions to standard yard requirements, off-street parking requirements, and open space and landscape requirements for significant buildings, which do not meet current zoning requirements.

## CHAPTER X RELOCATION

It is the intent of the Relocation section of the *Design Review Guidelines* to ensure that property owners consider the effect that relocation of a building will have on the neighborhood it enters or exit. The effect that relocation will have on the individual significance of the building is also a consideration.

Because of the continuing restoration and development activities by the Colonial Williamsburg Foundation and the City, Williamsburg has witnessed an unusual amount of relocation activity. Non-colonial buildings have been moved out of the Historic Area and transplanted colonial buildings have been moved in and out of the Historic Area and around the City. While this activity has saved many older buildings the juggling of buildings has altered historical relationships in many of the City's neighborhoods.

Before any relocation permits are issued by the City for buildings moving either within, into or out of **Architectural Preservation Districts**, review by the Architectural Review Board is required. At the time of submittal of the application for relocation, if the building is listed or eligible for National Register of Historic Places (Chapter XII, Appendix 1), the applicant should submit interior and exterior photographs of the building and its original site as part of the application. The property owner has the option to allow the City access to the property for photographic reporting. It is recommended that the applicant check with the Planning Department for available information on the property to avoid duplication of reporting.

Many factors need to be weighed by the Architectural Review Board when reviewing requests for relocation in **Architectural Preservation Districts**, many of which are listed in Section 21-855(c) of the Zoning Ordinance (Chapter XII, Appendix 5). These factors include the historical and architectural significance of the building, whether or not the building is listed on or eligible for the National Register of Historic Places (Chapter XII, Appendix 1) the effect that the relocation will have on the surrounding neighborhood, the type and quality of the project that will replace the building, the Comprehensive Plan's goals for historic preservation, the condition of the building, and the economic feasibility of restoring the building. The Board must strike the proper balance between preserving a building that makes important contributions to the history and character of the City, and allowing for new development in the **Architectural Preservation Districts**.

### THINGS TO CONSIDER

Relocation of buildings listed on or eligible for the National Register of Historic Places (Chapter XII, Appendix 1) should only be considered as a last resort before demolition. The location of the building plays a key role in determining its significance. When a building is moved from its site an important aspect of the building's identity is lost. The orientation of the building in the community, its

relationship with neighboring buildings and community features, and the characteristics of the site all play an important role in understanding the history of the building and its past occupants. When a building is separated from its site, the opportunity for archaeological and botanical research is lost. Relocation not only jeopardizes the integrity of older buildings, but also depletes the historic fabric of the original neighborhood and confuses the environs in the receiving neighborhood.

Because of the past and continuing threat to the stock of non-colonial historic buildings in Williamsburg, relocations from significant neighborhood groupings are strongly discouraged. In most cases, these buildings can be preserved and maintained in their original locations. However, if an earlier relocation project moved the building to the present site within the last eighty years (as part of the Colonial Williamsburg Foundation's restoration work and the City's redevelopment efforts), relocation of the building on its site might not be necessary to preserve its remaining historic character. Preservation efforts should include conservation of natural features, identified archaeological features, and secondary outbuildings present on the site, in addition to the principal architectural structure.

Prior to submitting a proposal for relocation of a building listed on or eligible for the National Register of Historic Places (Chapter XII, Appendix 1), property owners should analyze the situation carefully and explore alternatives to relocation. Property owners should consider the potential of the building for rehabilitation. Many older buildings are suitable for adaptive reuse projects and the Rehabilitation section of the *Design Review Guidelines* outlines the process. The Architectural Review Board may make recommendations to the Planning Commission and the Board of Zoning Appeals for exceptions to standard yard requirements, off-street parking requirements, and open space and landscape requirements for significant buildings in older neighborhoods, which do not meet current zoning requirements.

If relocation is determined to be necessary as the only means of preserving the building, then careful consideration should be given to the selection of a suitable site. In addition, if the building is listed on either the State or National Register, the owner should contact the Department of Historic Resources prior to the move to request that the designation be retained. Usually, however, relocation will result in the removal of the designation. An attempt should be made to locate a site, which recreates as nearly as possible the orientation of the original site. If the site is too small or oriented inappropriately with neighboring features and buildings, the qualities, which made the building significant, may be lost. In addition, if the building is located among buildings of a different architectural period or in a district composed of a different land use, the relocated building may look displaced. It is suggested that relocated buildings be placed in neighborhoods with buildings of similar size and land use.

When moving a building, the property owner should hire a qualified structural mover experienced in moving historic buildings and contact the Planning Department for information on building permits and code compliance. Thorough early planning and

preparation will help to reduce costs and remove opportunities for unseen obstacles to slow the relocation process. Whenever possible, buildings should be moved intact, but if partial disassemble is necessary, than all disassembled parts should be labeled precisely to aid in re-assembly. If the moving route is planned to avoid narrow bridges, steep roads, low utility wires and tree limbs, disassembly may be avoided. During the relocation, measures should be taken to protect vegetation and adjacent buildings on the old and new sites.

Any further changes to a building moved into **Architectural Preservation Districts** will be subject to review by the Architectural Review Board. In order to reduce confusion that relocation may create, interpretative information about the building at the old site should be posted at the new site.

## CHAPTER XI DEMOLITON

It is the intent of the demolition section of the *Design Review Guidelines* to ensure that property owners consider the role which existing buildings play in defining the character of the community. In addition, certain buildings possess individual significance as examples of certain architectural styles and periods in the City's history. Williamsburg has experienced in a high level of demolition activity within the last eighty years, which significantly altered the character of certain areas in the community. In addition as a result of the restoration of the Colonial Capitol, the City's redevelopment efforts, and continuing development pressures on land adjacent to the Historic Area, demolition has removed a sizeable portion of the City's post-Colonial era historic fabric. Historic resources, which are especially threatened, are from the City's depleted supply of Victorian and early twentieth century buildings. These non-colonial historic buildings contribute to the City's character and are evidence of the City's evolutionary process between the colonial period and the present time.

A 1930 survey and buildings map illustrates the level of demolition and redevelopment that has occurred within the last eighty years in the areas surrounding the Colonial Williamsburg Historic Area. Of the approximately 286 buildings (156 residential, 24 commercial, 106 accessory), which existed in the area bounded by Virginia Avenue, Richmond Road, North Boundary Street and the CSX Railroad right-of-way in 1930, 241 (84%) have been lost (119 residential, 21 commercial, 101 accessory). The Peacock Hill area (Boundary Street, Prince George Street, Nassau Street over to Lafayette Street) contained 123 buildings (61 residential and 62 accessory). 79\*% of the 122 buildings (37 dwellings and 59 accessory) have been lost. In the area of South Boundary Street, Ireland Street and South Henry Street 68% (17 residential and 21 accessory buildings) of the 56 (35 residential and 21 accessory buildings) have been lost. In the Colonial Extension Subdivision, 70% (21) of the 30 residential buildings have been lost. All of the buildings, which existed on York Street, have been lost. It is not known how many buildings, which existed prior to 1930 in the area now known as the Historic Area, were lost to make the restoration project possible. Redevelopment pressures and the phenomenon of demolition by neglect continue to threaten the City's remaining nineteenth century and early twentieth-century historic buildings.

The Architectural Review Board reviews all proposals to demolish buildings in the **Architectural Preservation Districts**. Prior to submitting a proposal for demolition of a building listed on or eligible for the National Register of Historic Places (Chapter XII, Appendix 1), it is recommended that property owners analyze the situation carefully and explore alternatives to demolition. Depending on the condition of the building and the nature of the intended land use, property owners should consider the potential of the building for rehabilitation. Many historic buildings are suitable for adaptive re-use projects and the Rehabilitation (Chapter IX) section of the *Design Review Guidelines* outlines this process. The Architectural Review Board may make recommendations to the Planning Commission and the Board of Zoning Appeals for exceptions to standard yard requirements, off-street parking requirements, and open space and landscape

requirements, for significant buildings in older neighborhoods which do not meet current zoning requirements.

If relocation is determined to be necessary as the only means of preserving the building, then property owners should refer to the Relocation (Chapter X) section of the ***Design Review Guidelines***.

If, after every other option is considered, the property owner still wishes to demolish the building, the procedures outlined in the Architecture Review Article of the Zoning Ordinance (Chapter XII, Appendix 6) must be followed. The applicant must apply to the Architectural Review Board for the right to demolish the building. At this time, if the building is listed on or eligible for the National Register of Historic Places (Chapter XII, Appendix 1), the applicant should submit interior and exterior photographs of the building and site to the Planning Department, or the property owner should allow the City access to the property to photograph the building and site. It is recommended that the applicant check with the Planning Department for available information on the property to avoid duplication of reporting.

Many factors need to be weighed by the Architectural Review Board when reviewing requests for demolition in **Architectural Preservation Districts**, many of which are listed in Section 21-855(c) of the Zoning Ordinance (Chapter XII, Appendix 6). These factors include:

1. Whether or not the building or neighborhood in which it is located is listed on or eligible for the National Register of Historic Places (Chapter XII, Appendix 1).
2. The historic and architectural value of the building.
3. The effect the demolition will have on the surrounding neighborhood.
4. The type and quality of the project that will replace the building.
5. The Comprehensive Plan's goals for historic preservation.
6. The condition of the building.
7. The economic feasibility of restoring the building.

The Board must strike the proper balance between preserving buildings that make important contributions to the history and character of the City, the surrounding neighborhood and allowing for new development in **Architectural Preservation Districts**. A listing of buildings in the **Architectural Preservation Districts** that are 50 years old or older has been compiled to assist the Board in its deliberations (Chapter XII, Appendix 2).

If the Architectural Review Board denies the demolition request, the applicant may appeal to the City Council. If demolition is denied by the City Council, the property owner has the right to demolish the building if no buyer has been found for the property within the stipulated time period after a bonafide effort has been made to sell the property under the procedures outlined in Section 21-858(a)(3) of the Zoning Ordinance (Chapter XII, Appendix 6). An alternative to this process is for the applicant to appeal the City Council's decision to the Circuit Court.

# **APPENDIX**

## CHAPTER XII – APPENDIX 1

### NATIONAL REGISTER OR ELIGIBLE FOR NATIONAL REGISTER OF HISTORIC PLACES

#### Listed on the National Register

- **Bruton Parish Church** (1712), 201 West Duke of Gloucester Street – (NRHP NHL 04-15-70); VDHR File #137-0007
- **Wren Building, College of William and Mary**, 111 Jamestown Road – (NRHP NHL 10-09-60); VDHR File #137-013
- **Peyton Randolph House** (1692, 1715, 1754), 101 East Nicholson Street – (NRHP NHL 04-15-70); VDHR File #137-0032
- **William Finnie House** (c. 1776), 506 East Francis Street – (NRHP NHL 04-14-70); VDHR File #137-0033
- **Williamsburg Historic District** (NRHP NHL 10-09-60); VDHR File #137-0050
- **Capitol Landing** (44WB5); (VLR 06-21-77)
- **College Landing** (44WB3); (NRHP 087-12-78); VDHR File #137-0057
- **Wythe House** (1750), 112 Palace Green – (NRHP NHL 04-15-70); VDHR File #137-0058)
- **Williamsburg Inn** (1936,50,71,72) – 300 East Francis Street – (NRHP 06-04-97); VDHR File #137-0079
- **Matthew Whaley School** (1929,30,81) – 301 Scotland Street – (NRHP 06-04-97); VDHR File #137-0302
- **Chandler Court & Pollard Park** – (NRHP 10-03-96); VDHR File #137-0075
  - Pollard Park Historic District**
    - **Harriet Reid House** (1940) – 1 Ballard Lane
    - **Craighill House** (1929, 97) – 3 Pollard Park
    - **Guy House** (1929) – 600 Pollard Park
    - **Morton House** (1937) – 601 Pollard Park
    - **Chapman House** (1939) – 604 Pollard Park
    - **Smith House** (1940) – 608 Pollard Park
    - **Lambert House** (1938, 92) – 610 Pollard Park
    - **Williams House** (1929) – 706 Pollard Park

## Listed on the National Register (continued)

### **Chandler Court Historic District**

- **Warren/Cox House** (1920-35, 91) – 100 Chandler Court
  - **Nelson House** (1925) – 101 Chandler Court
  - **Morton House** (1923) – 116 Chandler Court
  - **Swem House** (1925, 99) – 119 Chandler Court
  - **Krebs House** (1925, 04, 09) – 121 Chandler Court
  - **Geiger House** (1929) – 123 Chandler Court
  - **Pollard House** (1928, 96) – 129 Chandler Court
  - **Phalen House** (1949, 89, 90) – 130 Chandler Court
  - **Pollard House** (1925, 09) – 131 Chandler Court
  - **Baillard/Robb House** (1925) – 134 Chandler Court
  - **Pollard/Baillard House** (1931) – 140 Chandler Court
  - **Old Presbyterian Manse** (1925, 96, 12) – 601 Wythe Lane
  - **Blank House** (1940) – 605 Wythe Lane
- **Merchants Square and Resorts Historic District** – NRHP 05-07-05; VDHR File #137-5027
    - **Peninsula Bank** (1929-31) – 401 & 401-B West Duke of Gloucester Street
    - **Arcade Building, Pender's Grocery Store, Frazier-Callis Co.** (1929-31, 80) – 403, 405, 407, 409, 411, 415, 417, 423, 427, 429 West Duke of Gloucester Street
    - **Williamsburg Theatre** (1931-32, 2000) – 414-434 West Duke of Gloucester Street
    - **Methodist Rectory** (1924) – 105 North Boundary Street
    - **Humble Oil Company** (1950, 83) – 199 South Boundary Street
    - **Bruton Parish House** (1937-38, 60, 79) – 331 West Duke of Gloucester Street
    - **Casey's** (1929-31) – 345 West Duke of Gloucester Street
    - **A & P Grocery** (1931-32, 2003) – 400 West Duke of Gloucester Street
    - **Binns Fashion Shop** (1930-31, 65) – 435 West Duke of Gloucester Street
    - **College Corner Building** (2003) – 437, 439 & 445 West Duke of Gloucester Street
    - **Corner Greeks, Williamsburg Drugstore** ( 1931-32, 69) – 440 & 440-A Duke of Gloucester Street
    - **Craft House** (1937, 41-42) – 305 South England Street
    - **Abby, Aldrich Rockefeller Folk Art Museum and Gardens** (1955, 88-91) - 307 South England Street
    - **Williamsburg Inn Bath House & Pools** (1940, 63-64) – 309 South England Street
    - **Williamsburg Lodge** 1937-38, 60) – 310 South England Street
    - **Williamsburg Lodge South Wing** (1947) 310-C South England Street
    - **Williamsburg Lodge East Guesthouses** (2005) – 310A & B South England Street
    - **Williamsburg Lodge Tazewell Wing** (1985-86) – 310-K South England Street

### **Listed on the National Register (continued)**

- **Merchants Square and Resorts Historic District** – NRHP 05-07-05; VDHR File #137-5027 (Continued)
  - **Golden Horseshoe Golf Club** (1966) – 315 South England Street
  - **Williamsburg Inn** (1937) – 300 East Francis Street (individually listed)
  - **William Byrd III House and Stable**, House (1760-70) Stable (1901) – 410 & 412 West Francis Street
  - **Williamsburg Post Office** (1939-40) – 110 North Henry Street
  - **Goodwin Building** (1940) – 124 North Henry Street
  - Information Center, Bus Stop & Restrooms (1975-76) – 101 South Henry Street
  - **Post Office** (1961-62, 92-93) – 110 South Henry Street
  - **Ayers' Dodge/DeSoto, Ayers' Garage** (1931) – 414, 416 & 420 Prince George Street

### **Individual Buildings Eligible for Listing on the National Register**

- Bassett Hall (c 1753-66, 1950) – 522 East Francis Street
- John Saunders House (c 1750-1782) – 426 Ireland Street
- Frank Powell House (1840-69, 1890's, 1938) – 520 Jamestown Road
- Bowen-Armistead House (1860) – 207 West Duke of Gloucester Street
- Dora Armistead House (1888, R 1996 ) – 320 North Henry Street
- Bruton Heights School (1940) – 301 First Street
- Transportation Center (1935) – 468 North Boundary Street
- The Beeches (1890) – 1030 Capitol Landing Road

## **Potential Historic Districts Eligible for the National Register**

- **Braxton Court Historic District**
  - Helen Jones House (1930) – 743 Scotland Street
  - Sidney Johnson House (1920) – 745 Scotland Street
  - Andrew Jones House (1930, 53) – 100 Braxton Court
  - Roberts House (R 1980) – 101 Braxton Court
  - Richardson House (1930, 05) – 104 Braxton Court
  - Norman Hornsby House (1933) – 105 Braxton Court
  - Parker House (1930) – 106 Braxton Court
  - Cumber House (1930) – 110 Braxton Court
  - Goodall House (1930, 05) – 114 Braxton Court
  - Dr. Blayton House (1936) – 116 Braxton Court
  - Gerst House (1940, 83) – 118 Braxton Court
  - Lee Washington House (1935) – 120 Braxton Court
  - Archie Rucker House (1954, 09) – 122 Braxton Court
  - Skinner House (1937) – 124 Braxton Court
  - Paul D Braxton House (1935) – 125 Braxton Court
  - Baker House (1939, 08) – 126 Braxton Court
  - Robert H Braxton House (1928, 08) – 128 Braxton Court
  
- **College of William And Mary – Old Campus and the twentieth century dormitory, classroom, and office buildings within the Richmond Road, Jamestown Road, Stadium Drive and Landrum Drive triangle.**
  
- **College Terrace Historic District (1927 plat)**
  - Dick Davis House (1930, 81) – 600 Richmond Road
  - Theta Delta Chi House (1930) – 606 Richmond Road
  - Allen House (1930) – 612 Richmond Road
  - McCary House (1938) – 614 Richmond Road
  - Person House (1928) – 616 Richmond Road
  - Kappa Sigma House (1940, 06) – 700 Richmond Road
  - Stinnett House (1928, 58, 03) – 708 Richmond Road
  - Sigma Nu/Phi Kappa Tau House (1933 ) – 601 College Terrace
  - Harris House (1931, 10) – 605 College Terrace
  - Gibbs House (1928, 92) – 606 College Terrace
  - Robertson House (1938) – 608 College Terrace
  - Barksdale House (1929, 85, 99) – 616 College Terrace
  - The Selby Tourist Home (1930) – 702 College Terrace
  - Ituralde House (1931, 86, 92,) – 704 College Terrace
  - Geddy House (1930) – 705 College Terrace
  - Love House (1935, 90, 92) – 706 College Terrace
  - Merriment House (1936) – 714 College Terrace

- **Prince George Street Commercial District**
  - Armistead Building (1920) – 421-423 Prince George Street
  - Sacalis Building (1931) – 429 Prince George Street
  - Hitchens Building (1933) – 441 Prince George Street
  - Imperial Building (1931,85) – 501 Prince George Street
  
- **West Williamsburg Heights Historic District (1925 plat)**
  - H. D. Bozarth Tourist Home (1928) – 501 Richmond Road
  - Blanchard House (1934) – 503 Richmond Road
  - Corner Jackson House (1937) – 505 Richmond Road
  - Thad Hall House (1926) – 517 Richmond Road
  - Savage House (1926) – 519 Richmond Road
  - W. J. Holland Tourist Home (1929) – 601 Richmond Road
  - Elton Holland House (1928) – 605 Richmond Road
  - Painter House (1934) – 607 Richmond Road
  - Old Baptist Parsonage (1930) – 609 Richmond Road
  - Farrell House (1930) – 611 Richmond Road
  - Jerome H. Casey House (1929) – 711 Richmond Road
  - Blanchard House (1934, 56, 60) – 506 Randolph Street
  - Annie Bozarth Lockhart House (1932) – 509 Randolph Street
  - Bozarth Farm House (pre-1895) – 206 Virginia Avenue
  - Holland House (1941) – 110 Harrison Avenue
  - Remick House (1941) – 200 Harrison Avenue
  - Dr. Tucker House (1925) – 201 Harrison Avenue
  - Mullin House (1931) – 203 Harrison Avenue
  - Darst House (1936) – 206 Harrison Avenue
  - Rau House (1940,57) – 209 Harrison Avenue
  - W. R. Holland House (1938, 88) – 211 Harrison Avenue
  - Hartsfield House (1940) – 213 Harrison Avenue
  - Cummings House (1930) – 215 Harrison Avenue
  - Holland House (1940) – 217 Harrison Avenue
  - Edward D Saunders House (1929, 80) – 302 Harrison Avenue
  - Emans House (1931) – 111 Nelson Avenue
  - Dr. Stone House (1929) – 200 Nelson Avenue
  - Jones House (1939) – 205 Nelson Avenue
  - Arthur Bozarth House (1933) – 206 Nelson Avenue
  - Hattie Bozarth House (1937) – 207 Nelson Avenue
  - Low House (1934) – 210 Nelson Avenue

**This list is based on the 1992 survey performed by Frazier and Associates which recommended potential individual buildings and neighborhoods that would qualify as historic districts on the National Register of Historic Places. The list has been updated by staff to reflect areas that have gained National Register designation and updated dwelling information.**

## CHAPTER XII – APPENDIX 2

### Buildings located in Neighborhoods in an Architectural Preservation District

**Bold – Buildings 50 years old or older**

#### **BRAXTON COURT NEIGHBORHOOD (#17)**

##### **Braxton Court**

100 Braxton Court (1930, 53)	Andrew Jones House	Bungalow
101 Braxton Court (1920, R 1980)	Robert House	Cape Cod
104 Braxton Court (1930, 05)	Richardson House	Bungalow
105 Braxton Court (1933)	Norman Hornsby House	Vernacular
106 Braxton Court (1930)	Parker House	Cape Cod
110 Braxton Court (1930)	Cumber House	Bungalow
114 Braxton Court (1930, 05)	Goodall House	Colonial Revival
116 Braxton Court (1936)	Dr. Blayton House	Colonial Revival
118 Braxton Court (1940, 83)	Gerst House	English Cottage
120 Braxton Court (1935)	Lee Washington House	Bungalow
122 Braxton Court (1954, 09)	Archie Rucker House	Cape Cod
124 Braxton Court (1937)	Skinner House	Bungalow
125 Braxton Court (1935)	Paul D Braxton House	Vernacular
126 Braxton Court (1939, 08)	Baker House	Cape Cod
128 Braxton Court (1928, 08)	Robert H Braxton House	Dutch Colonial Revival

##### **Scotland Street**

733 Scotland Street (2002)	Emrich House	Vernacular
743 Scotland Street (1930)	Helen Jones House	Cottage
745 Scotland Street (1920)	Sidney Johnson House	Vernacular

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**BURNS LANE NEIGHBORHOOD (#42)**

**Burns Lane**

203 Burns Lane (1967)	Greenbaum House	Colonial Revival
205 Burns Lane (1983)	Hardy House	Modernism
207 Burns Lane (1966)	Burress House	Colonial Revival
<b>209 Burns Lane (1774, R-1946, 13)</b>	<b>Bel-Meade</b>	<b>Colonial</b>
211 Burns Lane (1967)	Dearsley House	Modernism
308 Burns Lane (1964)	Devitt House	Ranch
<b>309 Burns Lane (1956)</b>	<b>Berrett House</b>	<b>Ranch</b>
<b>310 Burns Lane (1950)</b>	<b>Jenkins House</b>	<b>Vernacular</b>
311 Burns Lane (1966)	Ryan House	Ranch

**Goodwin Street**

<b>700 Goodwin Street (1931, 86, 01)</b>	<b>Ray House</b>	<b>Colonial Revival</b>
701 Goodwin Street (1955)	Calkins House	Vernacular
703 Goodwin Street (1957)	Atkes House	Colonial Revival
704 Goodwin Street (1956, 91)	Cunningham House	Colonial Revival
705 Goodwin Street (1952)	Grattan House	Colonial Revival
707 Goodwin Street (1952, 91)	Baker House	Colonial Revival
708 Goodwin Street (1951, 93, 03)	Farley House	Colonial Revival
710 Goodwin Street (1951, 95)	Stokes House	Vernacular
711 Goodwin Street (1953, 82, 95)	Phelps House	Colonial Revival
713 Goodwin Street (1966)	Banner House	Modernism
715 Goodwin Street (1953, 05)		Vernacular
800 Goodwin Street (1951)	Massey House	Modernism

**Jamestown Road**

<b>612 Jamestown Road (1962,87,01,10)</b>	<b>St Stephen Lutheran Church</b>	<b>Modernism</b>
616 Jamestown Road (1940)	The Cedars	Georgian Revival
620 Jamestown Road (1957)	First Church of Christ	Colonial Revival
624 Jamestown Road (1997)	Christian Science Reading Room	Colonial Revival
700 Jamestown Road (1930, 77)	Young House	Dutch Colonial Revival
702 Jamestown Road (1930)	Wagner House	Colonial Revival
704 Jamestown Road (1929, 83, 02)	Guartney House	Colonial Revival
706 Jamestown Road (1953, 07)	Potts House	Colonial Revival
714 Jamestown Road (1956)	Veatch House	Vernacular
716 Jamestown Road (1985)	Barnes House	Modernism
718 Jamestown Road (1900, 2000, 07)	Seven Oaks	Colonial Revival

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**BURNS LANE NEIGHBORHOOD (#42) CONTINUED**

**Powell Street**

<b>627 Powell Street (1939, 06)</b>	<b>Vermuelen House</b>	<b>Colonial Revival</b>
<b>675 Powell Street (1952, 80)</b>	<b>Ashe House</b>	<b>Virginia Gambrel</b>
<b>681 Powell Street (1942, 07, 08)</b>	<b>Ashe House</b>	<b>Vernacular</b>
<b>701 Powell Street (1935)</b>		<b>Virginia Gambrel</b>
<b>702 Powell Street (1953)</b>	<b>Keene House</b>	<b>Georgian Revival</b>
<b>703 Powell Street (1935, 81)</b>	<b>Taylor House</b>	<b>Colonial Revival</b>
<b>704 Powell Street (1941)</b>		<b>Colonial Revival</b>
<b>705 Powell Street (1935, 89)</b>		<b>Colonial Revival</b>
<b>706 Powell Street (1943)</b>	<b>Armacost House</b>	<b>Colonial Revival</b>
<b>707 Powell Street (1955, 90)</b>	<b>Northcott House</b>	<b>Colonial Revival</b>
<b>708 Powell Street (1949, 06)</b>		<b>Vernacular</b>
<b>710 Powell Street (1951, 90)</b>	<b>Cosby House</b>	<b>Vernacular</b>
<b>712 Powell Street (1954)</b>	<b>Humphrey House</b>	<b>Vernacular</b>

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**CAPITOL HEIGHTS NEIGHBORHOOD (#33)**

**Adams Street**

101 Adams Street (1977)	Ewell House	Vernacular
<b>104 Adams Street (1950)</b>	<b>Harwood House</b>	<b>Colonial Revival</b>
<b>106 Adams Street (1941, R 1988)</b>	<b>Baxter House</b>	<b>Colonial Revival</b>
108 Adams Street (1976)	Ewell House	Vernacular
109 Adams Street (1965)	Morgan House	Ranch
111 Adams Street (1968, 95)	Parker House	Ranch
<b>112 Adams Street (1952)</b>	<b>Wheeler House</b>	<b>Vernacular</b>
<b>115 Adams Street (1953, 82)</b>	<b>Wheeler House</b>	<b>Vernacular</b>
<b>117 Adams Street (1953, 82)</b>	<b>Wheeler House</b>	<b>Vernacular</b>
118 Adams Street (1974)	Cash House	Ranch
119 Adams Street (1988)	Murphy House	Vernacular
<b>121 Adams Street (1955)</b>	<b>Millrons House</b>	<b>Vernacular</b>

**Capitol Court**

500 Capitol Court (1982)	Keene House	Colonial Revival
<b>501 Capitol Court (1951)</b>	<b>Banks House</b>	<b>Vernacular</b>
<b>502 Capitol Court (1951, 09)</b>	<b>George Mahone House</b>	<b>Vernacular</b>
<b>503 Capitol Court (1951)</b>	<b>Banks House</b>	<b>Vernacular</b>
<b>504 Capitol Court (1951)</b>	<b>Banks House</b>	<b>Vernacular</b>
505 Capitol Court (1984)	Woodby House	Vernacular
<b>506 Capitol Court (1951)</b>	<b>Halstead House</b>	<b>Vernacular</b>

**Capitol Landing Road**

<b>301 Capitol Landing Rd (1950, 98)</b>	<b>Banks House</b>	<b>Vernacular</b>
<b>303 Capitol Landing Rd (1932, 02)</b>	<b>George C Mahone House</b>	<b>Colonial Revival</b>
<b>305 Capitol Landing Rd (1895, R-09)</b>	<b>Moorecock House</b>	<b>Queen Anne</b>
307 Capitol Landing Road (2011)	Young House	Arts & Crafts
<b>319 Capitol Landing Road (1895, R-09)</b>	<b>Moorecock House</b>	<b>Classic Vernacular</b>
<b>400 Capitol Landing Road (1935)</b>	<b>Bradby House</b>	<b>Bungalow</b>
<b>404 Capitol Landing Road (1930, 89, 91, 93)</b>	<b>Bland House</b>	<b>Colonial Revival</b>
<b>406 Capitol Landing Road (1930)</b>	<b>Rogers House</b>	<b>Bungalow</b>
<b>407 Capitol Landing Road (1934)</b>	<b>Woodcock House</b>	<b>Colonial Revival</b>
407-A Capitol Landing Road (1966)	Woodcock Outbuilding	Colonial Revival
<b>408 Capitol Landing Road (1926)</b>	<b>Mahone House</b>	<b>Bungalow</b>
<b>500 Capitol Landing Road (1926, 98)</b>	<b>Johnson House</b>	<b>Bungalow</b>
<b>502 Capitol Landing Road (1933)</b>	<b>Mahone House</b>	<b>Bungalow</b>
<b>503 Capitol Landing Road (1935, 98)</b>		<b>Colonial Revival</b>
<b>504 Capitol Landing Road (1940)</b>		<b>Tudor Revival</b>
<b>505 Capitol Landing Road (1941)</b>	<b>Matthews House</b>	<b>Colonial Revival</b>
<b>506 Capitol Landing Road (1932)</b>	<b>Boileau House</b>	<b>Colonial Revival</b>
<b>507 Capitol Landing Road (1938)</b>	<b>Haas House</b>	<b>Colonial Revival</b>
<b>509 Capitol Landing Road (1943)</b>	<b>Haas House</b>	<b>Vernacular</b>
<b>511 Capitol Landing Road (1954)</b>	<b>Troufarrow House</b>	<b>Vernacular</b>
<b>601 Capitol Landing Road (1938)</b>	<b>Hoehne House</b>	<b>Log House</b>
<b>602 Capitol Landing Road (1941)</b>	<b>Timoney House</b>	<b>Bungalow</b>
<b>603 Capitol Landing Road (1938)</b>	<b>Nea House</b>	<b>Bungalow</b>
<b>604 Capitol Landing Road (1945)</b>	<b>Baganakis House</b>	<b>Shotgun Vernacular</b>

**Buildings located in Neighborhoods in an Architectural Preservation  
District**

**Bold – Buildings 50 years old or older**

**CAPITOL HEIGHTS NEIGHBORHOOD (#33) CONTINUED**

**Capitol Landing Road (continued)**

<b>608 Capitol Landing Road (1950)</b>	<b>Dedeian House</b>	<b>Vernacular</b>
<b>610 Capitol Landing Road (1950)</b>		<b>Vernacular</b>
<b>702 Capitol Landing Road (1935)</b>	<b>Reinecke House</b>	<b>Bungalow</b>
<b>702-A Capitol Landing Road (1935)</b>	<b>Reinecke Cottage</b>	<b>Vernacular</b>
714 Capitol Landing Road (1977, 92)	Bradby House	Vernacular
720 Capitol Landing Road (1985, 89)	Baganakis House	Colonial Revival
726 Capitol Landing Road (1985, 86)	Baganakis House	Colonial Revival

**Jefferson Street**

<b>104 Jefferson Street (1950)</b>	<b>Phillips House</b>	<b>Vernacular</b>
105 Jefferson Street (1965)	Thompson House	Vernacular
<b>108 Jefferson Street (1950)</b>	<b>Lee House</b>	<b>Vernacular</b>
<b>109 Jefferson Street (1938)</b>	<b>Henderson House</b>	<b>Vernacular</b>
<b>112 Jefferson Street (1950)</b>	<b>Whittaker House</b>	<b>Vernacular</b>
<b>114 Jefferson Street (1950)</b>	<b>Farthing House</b>	<b>Vernacular</b>
<b>116 Jefferson Street (1950)</b>	<b>Hornsby House</b>	<b>Vernacular</b>

**Page Street**

204 Page Street (1988)	Roy House	Ranch
306 Page Street (2013)	McLendon House	Bungalow
<b>404 Page Street (1953)</b>	<b>Bolling House</b>	<b>Vernacular</b>
<b>406 Page Street (1950)</b>	<b>Boileau House</b>	<b>Vernacular</b>

**Washington Street**

<b>104 Washington Street (1940)</b>	<b>Hunt House</b>	<b>Vernacular</b>
<b>105 Washington Street (1950)</b>	<b>Harwood House</b>	<b>Vernacular</b>
<b>106 Washington Street (1930)</b>	<b>Moore House</b>	<b>Vernacular</b>
108 Washington Street (2003)	Frank House	Colonial Revival
<b>109 Washington Street (1910)</b>		<b>Vernacular</b>
<b>111 Washington Street (1948)</b>	<b>Kyger House</b>	<b>Colonial Revival</b>
111-A Washington Street (1966)	White Duplex	Vernacular
112 Washington Street (2003)	Hewitt House	Colonial Revival
<b>113 Washington Street (1949)</b>	<b>Peach House</b>	<b>Vernacular</b>
114 Washington Street (2010)	Strand House	Vernacular
116 Washington Street (2006)	Bignall House	Vernacular
<b>117 Washington Street (1951)</b>	<b>Korpoi House</b>	<b>Vernacular</b>

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**CARY, CHANDLER, GRIFFIN, NEWPORT, POLLARD PARK NEIGHBORHOOD (#39)**

**Ballard Lane**

1 Ballard Lane (1940)	Harriet Reid House	Virginia Gambrel
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**Boundary Street S**

244 Boundary Street S (1993)	Baptist Student Center	Vernacular
<b>304 Boundary Street S (1942)</b>	<b>Baltas House</b>	<b>Colonial Revival</b>
<b>306 Boundary Street S (1950)</b>	<b>Baker West House</b>	<b>Vernacular</b>
<b>307 Boundary Street S (1930)</b>	<b>Mahone House</b>	<b>Colonial Revival</b>
<b>308 Boundary Street S (1932)</b>		<b>Colonial Revival</b>
<b>309 Boundary Street S (1938)</b>	<b>Wilkins House</b>	<b>Colonial Revival</b>
<b>312 Boundary Street S (1931)</b>	<b>Antoniadas House</b>	<b>Colonial Revival</b>
<b>313 Boundary Street S (1938)</b>	<b>Maupin House</b>	<b>Colonial Revival</b>
<b>314 Boundary Street S (1920)</b>	<b>Costas House</b>	<b>Colonial Revival</b>
<b>315 Boundary Street S (1938)</b>	<b>Bell House</b>	<b>Colonial Revival</b>
318 Boundary Street S (1990)	Terrell House	Georgian Revival
319 Boundary Street S (2011)	Glazner House	Georgian Revival
403 Boundary Street S (1991)	Glazner Triplex	Vernacular
<b>409 Boundary Street S (1941)</b>	<b>Cottingham House</b>	<b>Colonial Revival</b>
<b>442 Boundary Street S (1965)</b>	<b>Wilkins House</b>	<b>Ranch</b>
501 Boundary Street S (1980)	Pehrson Townhouse	Colonial Revival
503 Boundary Street S (1980)	Entwisle Townhouse	Colonial Revival
<b>504 Boundary Street S (1951)</b>	<b>Epps House</b>	<b>Vernacular</b>
505 Boundary Street S (1980)	Mann Townhouse	Colonial Revival
<b>506 Boundary Street S (1951)</b>	<b>Nathaniel Reid House</b>	<b>Vernacular</b>
507 Boundary Street S (1980)	Snyder Townhouse	Colonial Revival
<b>508 Boundary Street S (1959)</b>	<b>Herbert Cooke House</b>	<b>Vernacular</b>
509 Boundary Street S (1980)	Martin Townhouse	Colonial Revival
511 Boundary Street S (1980)	Elchinger Townhouse	Colonial Revival

**Cary Street**

<b>103 Cary Street (1932)</b>	<b>Dr. Baxter Bell's House</b>	<b>Cottage</b>
<b>109 Cary Street (1929) W&amp;M</b>	<b>Bell's Hospital</b>	<b>Foursquare</b>
<b>201 Cary Street (1933)</b>	<b>Keiffer House</b>	<b>Colonial Revival</b>
205 Cary Street (2011)	Cumber House	Vernacular
<b>207 Cary Street (1936, 78)</b>	<b>Page Funeral Home</b>	<b>Dutch Colonial Revival</b>
<b>303 Cary Street (1938)</b>		<b>Vernacular</b>
307 Cary Street (1977, 84, 86)	King House	Ranch
<b>308 Cary Street (1957)</b>	<b>Tate House</b>	<b>Vernacular</b>
<b>309 Cary Street (1940)</b>	<b>Braitwaite House</b>	<b>Vernacular</b>
<b>310 Cary Street (1918, 82)</b>		<b>Vernacular</b>
<b>311 Cary Street (1940)</b>	<b>Braitwaite House #2</b>	<b>Colonial Revival</b>
<b>312 Cary Street (1959, 89)</b>	<b>Crownfield House</b>	<b>Modernism</b>
314 Cary Street (1974)	Jenkins House	Modernism

## Buildings located in Neighborhoods in an Architectural Preservation

### District

**Bold – Buildings 50 years old or older**

### CARY, CHANDLER, GRIFFIN, NEWPORT, POLLARD PARK NEIGHBORHOOD (#39) CONTINUED

#### Chandler Court (\*\*National Register of Historic Places\*\*)

100 Chandler Court (1920, 35, 91)	Warren/Cox House	Neo-Colonial
101 Chandler Court (1925)	Nelson House	Dutch Colonial Revival
116 Chandler Court (1923)	Morton House	English Cottage
119 Chandler Court (1925) W&M	Swem House	Colonial Revival
121 Chandler Court (1925, 04, 08)	Krebs House	Colonial Revival
123 Chandler Court (1929)	Geiger House	Colonial Revival
129 Chandler Court (1928, 95)	Pollard House	Colonial Revival
130 Chandler Court (1949, 89, 90)	Phalen House	Cape Cod
131 Chandler Court (1925, 92, 08)	Pollard House	Colonial Revival
134 Chandler Court (1925)	Ballard/Robb House	Colonial Revival
140 Chandler Court (1931)	Pollard/Ballard House	Colonial Revival

#### Griffin Avenue

101 1/2 Griffin Avenue (1920)	Mackey House	Vernacular
114 Griffin Avenue (1928)	Carlton Casey House	Bungalow
118 Griffin Avenue (1920)	Woodbridge House	Bungalow
119 Griffin Avenue (1920, 87)	Taylor House	Vernacular
201 Griffin Avenue (1925)	Etheridge House	Vernacular
205 Griffin Avenue (1920) W&M	H K Young House	Dutch Colonial Revival
207 Griffin Avenue (1929, 10)	J D Carter House	Dutch Colonial Revival
209 Griffin Avenue (1965, 96)	Ruth Dozier House	Colonial Revival
228 Griffin Avenue (1951)	A Linwood Owens House	Colonial Revival
230 Griffin Avenue (1932)	Lee House	Colonial Revival
232 Griffin Avenue (1943)		Vernacular
234 Griffin Avenue (1993, 94)	Griffin House	Vernacular
302 Griffin Avenue (1931)		Colonial Revival
303 Griffin Avenue (1930)	Inman House	Colonial Revival
308 Griffin Avenue (1962, 81, 98, 02)	Inman House	Modernism
312 Griffin Avenue (1978, 84)	Meyers House	Vernacular
314 Griffin Avenue (1938)	Smith House	Vernacular
400 Griffin Avenue (1967, 12)	Rorer House	Ranch
402 Griffin Avenue (1979)	Lanier House	Modernism
405 Griffin Avenue (1951, 80)	May P Woody House	Vernacular

#### Jamestown Road

308 Jamestown Road (1925) W&M	Holmes House	Foursquare
312 Jamestown Road (1915) W&M	Lambert House	Foursquare
314 Jamestown Road (1920) W&M	Rowe House	Foursquare
336 Jamestown Road (1925) W&M	Painter House	Foursquare
338 Jamestown Road (1928) W&M	DuBois House	Cottage
338 1/2 Jamestown Road (1928) W&M	DuBois Cottage	Vernacular
402 Jamestown Road (1940) W&M	Mathews House	Foursquare
404 Jamestown Road (1925) W&M	Faison House	Bungalow
406 Jamestown Road (1920) W&M	Richardson House	Front-Gabled Vernacular
500 Jamestown Road (1949, 95, 05)	Williamsburg Methodist Church	Colonial Revival
526 Jamestown Road (1960, 90)	Wesley Foundation	Colonial Revival

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**CARY, CHANDLER, GRIFFIN, NEWPORT, POLLARD PARK NEIGHBORHOOD (#39) CONTINUED**

**Newport Avenue**

500 Newport Avenue (1968)	Ennis House	Vernacular
501 Newport Avenue (1922)	<b>George Rollo House</b>	<b>Dutch Colonial Revival</b>
502 Newport Avenue (1929, 86)	<b>Harwood/Schreiber House</b>	<b>Dutch Colonial Revival</b>
503 Newport Avenue (1989)	Driscoll House	Colonial Revival
504 Newport Avenue (1950, 80)	<b>Williams House</b>	<b>Vernacular</b>
505 Newport Avenue (1941, 95)	<b>Messick/Tuttle House</b>	<b>Virginia Gambrel</b>
506 Newport Avenue (1950, 02)		<b>Vernacular</b>
507 Newport Avenue (1989)	Sanford Warren House	Colonial Revival
508 Newport Avenue (1950)		<b>Vernacular</b>
509 Newport Avenue (1983)	Warren House	Colonial Revival
511 Newport Avenue (1930, 90)	<b>Haulman House</b>	<b>Dutch Colonial Revival</b>
512 Newport Avenue (1932)		<b>Colonial Revival</b>
513 Newport Avenue (1940)	<b>Douglas House</b>	<b>Vernacular</b>
514 Newport Avenue (1980, 81, 84, 90)	Albert House	Vernacular
515 Newport Avenue (1955)	<b>Dayton House</b>	<b>Vernacular</b>
516 Newport Avenue (1940, 04)	<b>Watkins House</b>	<b>Colonial Revival</b>
518 Newport Avenue (1994)	Barner House	Vernacular
519 Newport Avenue (1951, 01, 10)		<b>Vernacular</b>
520 Newport Avenue (1940, 05)	Elliott House	<b>Colonial Revival</b>
521 Newport Avenue (1935, 78, 05)	Holmes House	<b>Dutch Colonial Revival</b>
523 Newport Avenue (1750, R-1974)	Cedar Ridge	<b>Colonial</b>
525 Newport Avenue (1950)	<b>Matthews House</b>	<b>Vernacular</b>

**Norfolk Avenue**

400 Norfolk Avenue (1940)	Luttrell House	Colonial Revival
404 Norfolk Avenue (1940, 82)	Brooks House	Colonial Revival

**Pollard Park (\*\*National Register of Historic Places\*\*)**

3 Pollard Park (1929, 96)	Craighill House	Colonial Revival
600 Pollard Park (1929)	Guy House	Colonial Revival
601 Pollard Park (1937)	Morton House	Colonial Revival
604 Pollard Park (1939, 87, 93, 94)	Chapman House	English Cottage
608 Pollard Park (1940)	Smith House	Virginia Gambrel
610 Pollard Park (1938, 91)	Lambert House	Virginia Gambrel
706 Pollard Park (1929)	Williams House	Cape Cod

**Wythe Lane (\*National Register of Historic Places\*)**

601 Wythe Lane (1925, 96, 11)	Old Presbyterian Manse	Colonial Revival
605 Wythe Lane (1940) W&M	Blank House	Colonial Revival

**Wythe Lane**

708 Wythe Lane (1933)		Colonial Revival
710 Wythe Lane (1933)		Colonial Revival

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**COLLEGE TERRACE NEIGHBORHOOD (#14)**

**Brooks Street**

106 Brooks Street (1963)	Rhodes House	Ranch
108 Brooks Street (1958)	Skillman House	Ranch
110 Brooks Street (1900, R1950)	Skillman House	Vernacular
202 Brooks Street (1955)	Bodie House	Eclectic
206 Brooks Street (1956)	Harper Anderson House	Vernacular
212 Brooks Street (2003, 10)	Loker House	Abstract Historical Eclectic

**College Terrace**

601 College Terrace (1933)	Sigma Nu/Phi Kappa House	Plantation Colonial Revival
602 College Terrace (1951)	Griffin House	Colonial Revival
604 College Terrace (1959)	Sheldon House	Colonial Revival
605 College Terrace (1931, 10)	Harris House	Dutch Colonial Revival
606 College Terrace (1928, 92)	Gibbs House	Dutch Colonial Revival
608 College Terrace (1938)	Robertson House	Dutch Colonial Revival
614 College Terrace (1938, 03)	Daniel/Pons House	Virginia Gambrel
616 College Terrace (1929, 85, 99)	Barksdale House	Dutch Colonial Revival
620 College Terrace (1958)	Ringgold House	Vernacular
701 College Terrace (1950)	Cormack House	Vernacular
702 College Terrace (1930)	The Selby Tourist Home	Colonial Revival
704 College Terrace (1931, 86, 92)	Iturralde House	Colonial Revival
705 College Terrace (1930)	Geddy House	Dutch Colonial Revival
706 College Terrace (1935, 90, 92)	Love House	Virginia Gambrel
709 College Terrace (1996)	Vining House	Colonial Revival
710 College Terrace (1976)	Theil House	Vernacular
711 College Terrace (1954)	Williams House	Colonial Revival
714 College Terrace (1936)	Merriman House	Cape Cod
715 College Terrace (1957, 98)	Ayers House	Colonial Revival
718 College Terrace (1988)	Sacalis House	Virginia Gambrel
720 College Terrace (1943)	Garrett House	Colonial Revival
721 College Terrace (1953)	Butts House	Vernacular

**Richmond Road**

600 Richmond Road (1930, 81)	Dick Davis House	Colonial Revival
606 Richmond Road (1930)	Theta Delta Chi House	Colonial Revival
612 Richmond Road (1930)	Allen House	Colonial Revival
614 Richmond Road (1938)	McCary House	Colonial Revival
616 Richmond Road (1928)	Person House	Colonial Revival
700 Richmond Road (1940, 06)	Kappa Sigma House	Georgian Colonial Revival
704 Richmond Road (1977)	Dean House	Colonial Revival
706 Richmond Road (1952)	Harrison House	Colonial Revival
708 Richmond Road (1928, 58, 03)	Stinnett House	Dutch Colonial Revival
710 Richmond Road (1994)	Paparis House	Colonial Revival

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**COLONIAL EXTENSION NEIGHBORHOOD (#36)**

**England Street South**

<b>404 England Street S (1910)</b>	<b>Funke House</b>	<b>Foursquare</b>
<b>405 England Street S (1986)</b>	<b>Hennage House</b>	<b>Georgian Revival</b>
<b>410 England Street S (1910)</b>	<b>Guerrant House</b>	<b>Vernacular</b>
<b>412 England Street S (1910, 84, 07)</b>	<b>Erthal House</b>	<b>Foursquare</b>
<b>414 England Street S (1928)</b>		<b>Vernacular</b>
<b>416 England Street S (1920, 80, 96)</b>	<b>Inmann House</b>	<b>Vernacular</b>
<b>503 England Street S (1916)</b>	<b>Pittman House</b>	<b>Foursquare</b>
<b>505 England Street S (1937, 02)</b>		<b>Colonial Revival</b>
<b>506 England Street S (1977)</b>	<b>A S Anderson House</b>	<b>Colonial Revival</b>
<b>507 England Street S (1936, 86)</b>	<b>Thomas House</b>	<b>Virginia Gambrel</b>
<b>509 England Street S (1940)</b>		<b>Colonial Revival</b>
<b>512 England Street S (1973, 83)</b>	<b>C Brooks House</b>	<b>Gambrel Revival</b>
<b>515 England Street S (1939)</b>	<b>Lloyd Williams House</b>	<b>Colonial Revival</b>
<b>518 England Street S (2009)</b>	<b>G Brooks House</b>	<b>Vernacular</b>
<b>520 England Street S (1948)</b>	<b>D Lewis House</b>	<b>Colonial Revival</b>
<b>524 England Street S (1948)</b>	<b>D Lewis House</b>	<b>Colonial Revival</b>

**Newport Avenue**

<b>106 Newport Avenue (1951)</b>	<b>Clarence Hall House</b>	<b>Colonial Revival</b>
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**Tyler Street**

<b>403 Tyler Street (1962)</b>	<b>Hughes Duplex</b>	<b>Vernacular</b>
<b>407 Tyler Street (1962)</b>	<b>Hughes Duplex #2</b>	<b>Vernacular</b>
<b>410 Tyler Street (1753, R 1954)</b>	<b>Seymour Powell Tenement</b>	<b>Colonial</b>
<b>420 Tyler Street (1760, R 1954)</b>	<b>Galt James House</b>	<b>Colonial</b>
<b>442 Tyler Street (1983)</b>	<b>Hinrich Townhouse</b>	<b>Colonial Revival</b>
<b>444 Tyler Street (1983)</b>	<b>Lindsay Townhouse</b>	<b>Colonial Revival</b>
<b>446 Tyler Street (1983)</b>	<b>Fox Townhouse</b>	<b>Colonial Revival</b>
<b>448 Tyler Street (1983)</b>	<b>Dawson Townhouse</b>	<b>Colonial Revival</b>
<b>450 Tyler Street (1983)</b>	<b>Quinn Townhouse</b>	<b>Colonial Revival</b>
<b>452 Tyler Street (1984)</b>	<b>Girard Townhouse</b>	<b>Colonial Revival</b>
<b>454 Tyler Street (1984)</b>	<b>Anderson Townhouse</b>	<b>Colonial Revival</b>
<b>456 Tyler Street (1984)</b>	<b>Batdorf Townhouse</b>	<b>Colonial Revival</b>
<b>458 Tyler Street (1984)</b>	<b>Huyler Townhouse</b>	<b>Colonial Revival</b>
<b>460 Tyler Street (1984)</b>	<b>Fletcher Townhouse</b>	<b>Colonial Revival</b>
<b>503 Tyler Street (1914, 80)</b>	<b>Thorpe House</b>	<b>Cross-Gabled Vernacular</b>
<b>505 Tyler Street (1948)</b>	<b>Fletcher House</b>	<b>Vernacular</b>
<b>507 Tyler Street (1905, 89)</b>	<b>Thorpe House</b>	<b>Front-Gabled Vernacular</b>
<b>509 Tyler Street (1920, 83, 86)</b>		<b>Vernacular</b>
<b>510 Tyler Street (1934)</b>	<b>Anderson House</b>	<b>Shotgun Vernacular</b>
<b>511 Tyler Street (1987)</b>	<b>Bull House</b>	<b>Vernacular</b>
<b>513 Tyler Street (1993)</b>	<b>Bull House #2</b>	<b>Colonial Revival</b>
<b>528 Tyler Street (1915, R1929)</b>	<b>Willie Baker House</b>	<b>Foursquare</b>

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**COLONIAL EXTENSION NEIGHBORHOOD (#36) CONTINUED**

**Williamsburg Avenue**

102 Williamsburg Avenue (1964,84)	McElheny House	Vernacular
103 Williamsburg Avenue (1956)	Hughes House	Vernacular
<b>104 Williamsburg Avenue (1920)</b>	<b>Pitman Cottage</b>	<b>Vernacular</b>
<b>106 Williamsburg Avenue (1938)</b>	<b>Thorpe Cottage</b>	<b>Colonial Revival</b>
<b>111 Williamsburg Avenue (1920)</b>	<b>Thorpe Cottage 2</b>	<b>Vernacular</b>

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**CRISPUS ATTUCKS NEIGHBORHOOD (#18)**

**Harriett Tubman Drive**

400 Harriett Tubman Drive (1975)	Bertha Casselle House	Ranch
401 Harriett Tubman Drive (1975)	Bowman House	Ranch
402 Harriett Tubman Drive (1975)	Vaden House	Split Level
403 Harriett Tubman Drive (1974)	Holiday House	Ranch
404 Harriett Tubman Drive (1978)	Williams House	Ranch
405 Harriett Tubman Drive (1975)	Wallace House	Ranch
406 Harriett Tubman Drive (1976)	Wright House	Ranch
407 Harriett Tubman Drive (1975)	Atkins House	Ranch
408 Harriett Tubman Drive (1975)	Ellis House	Ranch
409 Harriett Tubman Drive (1977)	Holliman House	Ranch
410 Harriett Tubman Drive (1975)	Sasser House	Ranch
411 Harriett Tubman Drive (1975)	Brown House	Ranch
412 Harriett Tubman Drive (2004)	Wehle House	Colonial Revival
413 Harriett Tubman Drive (1975)	Mathes House	Ranch
414 Harriett Tubman Drive (1975)	Morris House	Ranch
416 Harriett Tubman Drive (1978)	Johnson House	Ranch
418 Harriett Tubman Drive (1975)	Russell House	Ranch
420 Harriett Tubman Drive (1986)	Williams House	Ranch
422 Harriett Tubman Drive (1930,R-98)	Morgan House	Colonial Revival

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**DOWNTOWN NEIGHBORHOOD #38**

**Armistead Avenue**

<b>195 Armistead Avenue (1930) W&amp;M</b>	<b>Moncure House</b>	<b>Colonial Revival</b>
<b>197 Armistead Avenue (1913) W&amp;M</b>	<b>Mullen House</b>	<b>Foursquare</b>
<b>199 Armistead Avenue (1920) W&amp;M</b>	<b>Bull House</b>	<b>Foursquare</b>
200 Armistead Avenue (1984)	Triangle Building	Modernism
425 Armistead Avenue (1977)	Police Station	Modernism

**Boundary Street N**

<b>105 Boundary Street N (1924)</b>	<b>Methodist Rectory</b>	<b>Colonial Revival</b>
<b>107 Boundary Street N (1930) W&amp;M</b>	<b>Brown Dorm</b>	<b>Colonial Revival</b>
<b>112 Boundary Street N (1916) W&amp;M</b>	<b>Davis House</b>	<b>Colonial Revival</b>
<b>114 Boundary Street N (1940) W&amp;M</b>	<b>College Apartments</b>	<b>Colonial Revival</b>
<b>209 Boundary Street N (1923)</b>	<b>Mary Sacalis Mitchell House</b>	<b>Foursquare</b>
<b>213 Boundary Street N (1918)</b>	<b>Mary Sacalis Mitchell House</b>	<b>Foursquare</b>
218 Boundary Street N (1976)	G-Square	Colonial Revival
<b>219 Boundary Street N (1905, 82)</b>	<b>Creasey House</b>	<b>Cottage</b>
220 Boundary Street N (1980)	G-Square	Modernism
<b>221 Boundary Street N (1920, 07)</b>	<b>McGregor House</b>	<b>Colonial Revival</b>
222 Boundary Street N (1980)	G Square	Modernism
230 Boundary Street N (1980)	Kinnamon Townhouse	Modernism
232 Boundary Street N (1980)	Gunn Townhouse	Modernism
234 Boundary Street N (1980)	Muse Townhouse	Modernism
236 Boundary Street N (1980)	Donald Townhouse	Modernism
238 Boundary Street N (1980)	Woodall Townhouse	Modernism
240 Boundary Street N (1980)	Kruikshank Townhouse	Modernism
242 Boundary Street N (1980)	Dannenbaum Townhouse	Modernism
244 Boundary Street N (1980)	Sheppard Townhouse	Modernism
246 Boundary Street N (1980)	Frederick Townhouse	Modernism
<b>301-1 Boundary Street N (1965)</b>	<b>Bennett Townhouse</b>	<b>Vernacular</b>
<b>301-2 Boundary Street N (1965)</b>	<b>Bernadine Townhouse</b>	<b>Vernacular</b>
<b>301-3 Boundary Street N (1965)</b>	<b>Malone Townhouse</b>	<b>Vernacular</b>
<b>301-4 Boundary Street N (1965)</b>	<b>Tegeris Townhouse</b>	<b>Vernacular</b>
<b>305 Boundary Street N (1935)</b>	<b>Davis House</b>	<b>Vernacular</b>
401 Boundary Street N (1999)	Community Building	Modern
412 Boundary Street N (1967)	Stryker Building	Vernacular
421 Boundary Street N (2000)	Chamber of Commerce	Vernacular
423 Boundary Street N (2002)	Allgood Building	Vernacular
425 Boundary Street N (1990)	Post Office	Modernism
419 Boundary Street N (1999)	Parking Terrace	Modernism
440 Boundary Street N (1978, 08)	Fire Station	Modernism
<b>468 Boundary Street N (1935)</b>	<b>Williamsburg Train Station</b>	<b>Colonial Revival</b>

**Boundary Street S**

<b>199 Boundary Street S (1950, 83)</b>	<b>Humble Oil Station</b>	<b>Colonial Revival</b>
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**Crump Lane**

<b>440 Crump Lane (1956)</b>	<b>Crump House</b>	<b>Vernacular</b>
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**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**DOWNTOWN NEIGHBORHOOD #38 CONTINUED**

**Duke of Gloucester Street W**

331 Duke of Gloucester St W (1937-38,60,79)	Bruton Parish House	Colonial Revival
345 Duke of Gloucester St W (1931)	Casey's Department Store	Colonial Revival
400 Duke of Gloucester St W (1931-32, 03)	A & P Grocery	Colonial Revival
401 Duke of Gloucester St W (1929-31)	Peninsula Bank	Colonial Revival
403-429 Duke of Gloucester St W (1929-31,80)	Arcade Building, Pender's Grocery & Frazier-Callis Co.	Colonial Revival
414-434 Duke of Gloucester St W (1931-32,00)	Williamsburg Theater	Colonial Revival
435 Duke of Gloucester St W (1930-31, 65)	Binn's Fashion Shop	Colonial Revival
437-445 Duke of Gloucester St W (2002-3)	College Corner Building	Colonial Revival
440 Duke of Gloucester St W (1931-32, 69)	Corner Greeks & Williamsburg Drugstore	Colonial Revival

**Francis Street W**

410 Francis Street W (1771)	William Byrd House	Colonial
412 Francis Street W (1910)	William Byrd Stable	Historical Reconstruction

**Henry Street N**

110 Henry Street N (1939-40)	Williamsburg Post Office	Colonial Revival
134 Henry Street N (1940)	Goodwin Building	Colonial Revival
202 Henry Street N (2008)	SunTrust Bank	Colonial Revival
212 Henry Street N (1875, 1994)	Fields House	Victorian Front Gabled
220 Henry Street N (1900, 2013)	Shipman/Brooks House	Queen Anne
245 Henry Street N (1910)	Charlotte Brooks House	Queen Anne
320 Henry Street N (1888, R-1995, 2007)	Dora Armistead House	Victorian
321 Henry Street N (1952, 82)	George Nea House	Colonial Revival
327 Henry Street N (1906)	Andrew J Barnes House	Queen Anne
331 Henry Street N (1931)	Smoot House	Georgian Revival
332 Henry Street N (2008)	Health Evaluation Center	Colonial Revival
333 Henry Street N (1922)	Howison House	Foursquare
356 Henry Street N (1910)	Hitchen House	Foursquare

**Henry Street S**

102 Henry Street S (1975)	Information Center	Colonial Revival
110 Henry Street S (1961-62, 94, 2004)	Williamsburg Post Office	Colonial Revival
306 Henry Street S (1967)	Williamsburg National Bank	Georgian Revival
320 Henry Street S (1950)	C&P Switching Station	Vernacular
408 Henry Street S (1930)	TAWA House	Bungalow
434 Henry Street S (2005)	Trinh Murphy House	Vernacular
512 Henry Street S (1990)	John Digges Condominium	Vernacular
514 Henry Street S (1990)	Bush Condominium	Vernacular
516 Henry Street S (1990)	Digges Office Building	Vernacular
518 Henry Street S (1990)	McVey Condominium	Vernacular
520 Henry Street S (1990)	Steele Condominium	Vernacular

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**DOWNTOWN NEIGHBORHOOD #38 CONTINUED**

**Ireland Street**

426 Ireland Street (1780-1820)	Rabon House	I-House Vernacular
434 Ireland Street (1856, 95)	Thorpe House	I-House Vernacular
438 Ireland Street (1995)	Chuckney Duplex	Vernacular

**Lafayette Street**

204 Lafayette Street (1936)	Hitchens House	Vernacular
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**Prince George Street**

314 Prince George Street (1935)	Bruton Parish Rectory	Colonial Revival
414-424 Prince George Street (1931)	Ayers' Garage	Colonial Revival
421-423 Prince George Street (1920)	Armistead Building	Colonial Revival
425-433 Prince George Street (1930, 50)	Sacalis Building	Colonial Revival
441 Prince George Street (1933)	Hitchens Building	Colonial Revival
501 Prince George Street (1931, 85)	Imperial Building	Georgian Revival
522 Prince George Street (1910) W&M	Braxton House	Vernacular
524 Prince George Street (1915) W&M	Prince George House	Vernacular

**Richmond Road**

111 Richmond Road (1930) W&M	Kappa Kappa Gamma House	Georgian Revival
121 Richmond Road (1930) W&M	Telegraph Company Building	Georgian Revival
127-A Richmond Road (1940) W&M	Sorority Court	Georgian Revival
127-B Richmond Road (1940) W&M	Sorority Court	Georgian Revival
127-C Richmond Road (1940) W&M	Sorority Court	Georgian Revival
127-D Richmond Road (1940) W&M	Sorority Court	Georgian Revival
127-E Richmond Road (1940) W&M	Sorority Court	Georgian Revival
129 Richmond Road (1930) W&M	Delta Gamma House	Georgian Revival
151 Richmond Road (1930) W&M	Alpha Gamma House	Georgian Revival
155 Richmond Road (1930) W&M	Kappa Alpha Theta House	Georgian Revival
205 Richmond Road (1915) W&M	Alpha Epsilon Omega	Dutch Colonial Revival
215 Richmond Road (1991, 1997, 2004)	Williamsburg Presbyterian	Colonial Revival
227 Richmond Road (1933)	Williamsburg Baptist Church	Colonial Revival
249 Richmond Road (2011)	Tribe Square	Vernacular
315 Richmond Road (2001)	WaWa Convenience Store	Vernacular
327 Richmond Road (1920) W&M	Wilford House	Vernacular Front-Gable
331 Richmond Road (1920)	Cary Wynne Boelt House	Virginia Gambrel
333 Richmond Road (1925)	Wynway Hall	Colonial Revival
333 ½ Richmond Road (1925)	Wynway Mule Barn	Colonial Revival
336 Richmond Road (1961)	Pure Oil Station	Colonial Revival
415 Richmond Road (1973) W&M	Hospitality House	French Revival

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**DOWNTOWN NEIGHBORHOOD #38 CONTINUED**

**Scotland Street**

<b>301 Scotland Street (1929, 81)</b>	<b>Matthew Whaley School</b>	<b>Georgian Revival</b>
<b>321 Scotland Street (1935, 10)</b>	<b>Norvell House</b>	<b>Colonial Revival</b>
<b>322 Scotland Street (1926, 81)</b>	<b>Friend House</b>	<b>Dutch Colonial Revival</b>
<b>324 Scotland Street (1950)</b>	<b>Charlotte Brooks Cottage</b>	<b>Colonial Revival</b>
<b>349 Scotland Street (1904)</b>	<b>J C Darlington House</b>	<b>Queen Anne</b>
<b>402 Scotland Street (1900)</b>	<b>Warburton House</b>	<b>Queen Anne</b>
<b>411 Scotland Street (1907, R-2007)</b>	<b>Lawson House</b>	<b>Queen Anne</b>
<b>415 Scotland Street (1907)</b>	<b>Pearl Jones House</b>	<b>Queen Anne</b>
<b>417 Scotland Street (1971)</b>	<b>Rogers Townhouse</b>	<b>Vernacular</b>
<b>419 Scotland Street (1971)</b>	<b>Holl Townhouse</b>	<b>Vernacular</b>
<b>420 Scotland Street (1900,</b>	<b>McTavish House</b>	<b>Victorian Front Gabled</b>
<b>421-3 Scotland Street (1971)</b>	<b>Starbuck Townhouse</b>	<b>Vernacular</b>
<b>421-6 Scotland Street (1971)</b>	<b>Thelin Townhouse</b>	<b>Vernacular</b>
<b>421-7 Scotland Street (1971)</b>	<b>Cahn Townhouse</b>	<b>Vernacular</b>
<b>421-8 Scotland Street (1971)</b>	<b>Elstner Townhouse</b>	<b>Vernacular</b>
<b>424 Scotland Street (1925)</b>	<b>H. M. Stryker House</b>	<b>Dutch Colonial Revival</b>
<b>425 Scotland Street (1971)</b>	<b>Hogge Townhouse</b>	<b>Vernacular</b>
<b>427 Scotland Street (1898, 99) W&amp;M</b>	<b>Norvelle L Henley House</b>	<b>Victorian</b>
<b>435 Scotland Street (1924, 92)</b>	<b>Vernon M Geddy House</b>	<b>Colonial Revival</b>
<b>435-A Scotland Street (1924)</b>	<b>Vernon M Geddy Garage</b>	<b>Colonial Revival</b>
<b>514 Scotland Street (1940)</b>	<b>Bozarth House</b>	<b>Colonial Revival</b>
<b>515 Scotland Street (1981)</b>	<b>Williamsburg Library</b>	<b>Modernism</b>
<b>528 Scotland Street (1910)</b>	<b>Lee Jackson House</b>	<b>Cross Gabled Vernacular</b>
<b>613 Scotland Street (1981)</b>	<b>Blayton Building</b>	<b>Vernacular</b>
<b>727 Scotland Street (1956, 01, 08)</b>	<b>First Baptist Church</b>	<b>Colonial Revival</b>
<b>732 Scotland Street (1964)</b>	<b>King &amp; Queen Motel</b>	<b>Vernacular</b>
<b>736 Scotland Street (1940)</b>	<b>Cary Wynne Boelt Cottage</b>	<b>Dutch Colonial Revival</b>
<b>747 Scotland Street (2011)</b>	<b>Hermes Building</b>	<b>Vernacular</b>
<b>761 Scotland Street (1940)</b>	<b>Greenleaf/Pauls Deli</b>	<b>Colonial Revival</b>

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**HISTORIC AREA NEIGHBORHOOD #37**

**Bucktrout Lane**

300 Bucktrout Lane (1946)                      Bucktrout Cottage                      Original

**Colonial National Parkway**

1151 Colonial National Parkway (1935)                      Governor's Palace Pump Hse                      Historical Reconstruction

**Colonial Street**

103 Colonial Street (1936)                      Sign of the Rhinoceros                      Historical Reconstruction

**Duke of Gloucester Street East**

109 Duke of Gloucester Street East (1941)	Chowning's Tavern	Historical Reconstruction
109-B Duke of Gloucester Street East (1941)	Chowning's Kitchen	Historical Reconstruction
109-C Duke of Gloucester Street East (1941)	Chowning's Well	Historical Reconstruction
109-D Duke of Gloucester Street East (1941)	Chowning's Dairy	Historical Reconstruction
109-E Duke of Gloucester Street East (1941)	Chowning's Smokehouse	Historical Reconstruction
110 Duke of Gloucester Street East (1750)	Market Sq Tavern	Original
110-A Duke of Gloucester Street East (1932)	Market Sq Tavern Woodshed	Historical Reconstruction
110-B Duke of Gloucester Street East (1932)	Market Sq Tavern Wellhead	Historical Reconstruction
110-C Duke of Gloucester Street East (1932)	Market Sq Tavern Stable	Historical Reconstruction
110-D Duke of Gloucester Street East (1932)	Market Sq Tavern Cottage	Historical Reconstruction
110-E Duke of Gloucester Street East (1932)	Market Sq Tavern Tool Hse	Historical Reconstruction
110-F Duke of Gloucester Street East (1932)	Market Sq Tavern Kitchen	Historical Reconstruction
110-G Duke of Gloucester Street East (1932)	Market Sq Tavern Privy	Historical Reconstruction
201 Duke of Gloucester Street East (1939)	Red Lion	Historical Reconstruction
201-B Duke of Gloucester Street East (1939)	Red Lion Smokehouse	Historical Reconstruction
201-C Duke of Gloucester Street East (1939)	Red Lion Well	Historical Reconstruction
201-D Duke of Gloucester Street East (1939)	Red Lion Stable	Historical Reconstruction
201-E Duke of Gloucester Street East (1939)	Red Lion West Privy	Historical Reconstruction
201-F Duke of Gloucester Street East (1939)	Red Lion East Privy	Historical Reconstruction
202 Duke of Gloucester Street East (1952)	Peter Hay's Shop	Historical Reconstruction
202-B Duke of Gloucester Street East (1952)	Peter Hay's Kitchen	Historical Reconstruction
202-C Duke of Gloucester Street East (1952)	Peter Hay's Workshop	Historical Reconstruction
202-D Duke of Gloucester Street East (1952)	Peter Hay's Privy	Historical Reconstruction
206 Duke of Gloucester Street East (1737-55)	William Lightfoot House	Original
206-A Duke of Gloucester Street East (1737-55)	William Lightfoot Smokehse	Original
206-B Duke of Gloucester Street East (1737-55)	William Lightfoot Dairy	Original
206-D Duke of Gloucester Street East (1936)	William Lightfoot Well	Historical Reconstruction
207 Duke of Gloucester Street East (1752-53)	Ludwell Paradise House	Original
207-A Duke of Gloucester Street East (1931)	Ludwell Paradise Kitchen	Historical Reconstruction
207-B Duke of Gloucester Street East (1931)	Ludwell Paradise Coach Hse	Historical Reconstruction
207-C Duke of Gloucester Street East (1931)	Ludwell Paradise Smokehse	Historical Reconstruction
207-D Duke of Gloucester Street East (1931)	Ludwell Paradise Well	Historical Reconstruction
207-E Duke of Gloucester Street East (1931)	Ludwell Paradise Privy	Historical Reconstruction
207-F Duke of Gloucester Street East (1931)	Ludwell Paradise Woodshed	Historical Reconstruction
208 Duke of Gloucester Street East (1948)	William Lightfoot Kitchen	Historical Reconstruction
210 Duke of Gloucester Street East (1790)	George Reid House	Original
210-A Duke of Gloucester Street East (1800-14)	George Reid Woodshed	Original
210-B Duke of Gloucester Street East (????)	George Reid Well	Original

**Buildings located in Neighborhoods in an Architectural Preservation  
District**

**Bold – Buildings 50 years old or older**

**HISTORIC AREA NEIGHBORHOOD #37 CONTINUED**

**Duke of Gloucester Street East**

213 Duke of Gloucester Street East (1740)	Prentis Store	Original
301 Duke of Gloucester Street East (1936)	George Pitt House	Historical Reconstruction
301-A Duke of Gloucester Street East (1936)	George Pitt Necessary House	Historical Reconstruction
301-B Duke of Gloucester Street East (1936)	George Pitt Well	Historical Reconstruction
301-E Duke of Gloucester Street East (1936)	George Pitt Smokehouse	Historical Reconstruction
301-F Duke of Gloucester Street East (1936)	George Pitt Stable	Historical Reconstruction
302 Duke of Gloucester Street East (1940)	Orlando Jones House	Historical Reconstruction
302-B Duke of Gloucester Street East (1940)	Orlando Jones Office	Historical Reconstruction
302-C Duke of Gloucester Street East (1940)	Orlando Jones Kitchen	Historical Reconstruction
302-D Duke of Gloucester Street East (1940)	Orlando Jones Smokehouse	Historical Reconstruction
302-E Duke of Gloucester Street East (1940)	Orlando Jones Well	Historical Reconstruction
302-F Duke of Gloucester Street East (1940)	Orlando Jones Privy	Historical Reconstruction
303 Duke of Gloucester Street East (1958)	Printing & Post Office	Historical Reconstruction
303-C Duke of Gloucester Street East (1958)	Printing Office Workshop	Historical Reconstruction
305 Duke of Gloucester Street East (1956)	M Dubois Grocer's	Historical Reconstruction
305-H Duke of Gloucester Street East (1957)	Hunter's Tenement	Historical Reconstruction
306 Duke of Gloucester Street East (1940)	Mary Stith House	Historical Reconstruction
306-A Duke of Gloucester Street East (2013)	Mary Stith Tin Shop	Historical Reconstruction
307 Duke of Gloucester Street East (1953)	Holt's Storehouse	Historical Reconstruction
307-A Duke of Gloucester Street East (1953)	Holt's Kitchen	Historical Reconstruction
309 Duke of Gloucester Street East (1934)	Water's Storehouse	Historical Reconstruction
309-B Duke of Gloucester Street East (1934)	Water's Well	Historical Reconstruction
310 Duke of Gloucester Street East (1940)	James Anderson House	Historical Reconstruction
310-A Duke of Gloucester Street East (2011)	James Anderson Kitchen	Historical Reconstruction
310-B Duke of Gloucester Street East (2012)	James Anderson Armory	Historical Reconstruction
310-C Duke of Gloucester Street East (2012)	James Anderson Storage	Historical Reconstruction
310-D Duke of Gloucester Street East (2013)	James Anderson Shop	Historical Reconstruction
310-G Duke of Gloucester Street East (2011)	James Anderson Work Shed	Historical Reconstruction
310-H Duke of Gloucester Street East (2011)	James Anderson Well	Historical Reconstruction
311 Duke of Gloucester Street East (1942)	William Water's House	Historical Reconstruction
311-B Duke of Gloucester Street East (1934)	William Water's Kitchen	Historical Reconstruction
311-C Duke of Gloucester Street East (1934)	William Water's Well	Historical Reconstruction
311-F Duke of Gloucester Street East (1934)	William Water's Smokehouse	Historical Reconstruction
311-G Duke of Gloucester Street East (1942)	William Water's Stable	Historical Reconstruction
312 Duke of Gloucester Street East (1939)	Brick House Tavern	Historical Reconstruction
312-C Duke of Gloucester Street East (1939)	Brick House Tavern Shop	Historical Reconstruction
312-D Duke of Gloucester Street East (1939)	Brick House Tavern East Privy	Historical Reconstruction
312-E Duke of Gloucester Street East (1939)	Brick House Tavern West Privy	Historical Reconstruction
313 Duke of Gloucester Street East (1934)	Davidson Shop	Historical Reconstruction
401 Duke of Gloucester Street East (1939)	Prentis House	Historical Reconstruction
401-B Duke of Gloucester Street East (1939)	Prentis Kitchen	Historical Reconstruction
401-C Duke of Gloucester Street East (1939)	Prentis Smokehouse	Historical Reconstruction
401-D Duke of Gloucester Street East (1939)	Prentis Dairy	Historical Reconstruction
401-E Duke of Gloucester Street East (1939)	Prentis Shop	Historical Reconstruction
401-F Duke of Gloucester Street East (1939)	Prentis Well	Historical Reconstruction
401-G Duke of Gloucester Street East (1939)	Prentis West Privy	Historical Reconstruction
401-H Duke of Gloucester Street East (1939)	Prentis East Privy	Historical Reconstruction

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**HISTORIC AREA NEIGHBORHOOD #37 CONTINUED**

**Duke of Gloucester Street East**

401-J Duke of Gloucester Street East (1939)	Prentis Stable	Historical Reconstruction
402 Duke of Gloucester Street East (1937)	Tarpley's Store	Historical Reconstruction
403 Duke of Gloucester Street East (1947)	Russell House	Historical Reconstruction
403-A Duke of Gloucester Street East (1949)	Russell Well	Historical Reconstruction
403-B Duke of Gloucester Street East (1949)	Russell Smokehouse	Historical Reconstruction
403-D Duke of Gloucester Street East (1949)	Russell Privy	Historical Reconstruction
405 Duke of Gloucester Street East (1740)	Margaret Hunter Shop	Original
405-D Duke of Gloucester Street East (1953)	Margaret Hunter Workshop	Historical Reconstruction
405-E Duke of Gloucester Street East (1953)	Margaret Hunter Dairy	Historical Reconstruction
406 Duke of Gloucester Street East (1730, 52)	Wetherburn's Tavern	Original
406-A Duke of Gloucester Street East (????)	Wetherburn's Dairy	Original
407 Duke of Gloucester Street East (1948)	Golden Ball	Historical Reconstruction
407-E Duke of Gloucester Street East (1948)	Golden Ball Kitchen	Historical Reconstruction
407-F Duke of Gloucester Street East (1948)	Golden Ball Smokehouse	Historical Reconstruction
407-G Duke of Gloucester Street East (1948)	Golden Ball Well	Historical Reconstruction
407-H Duke of Gloucester Street East (1948)	Golden Ball Dairy	Historical Reconstruction
407-J Duke of Gloucester Street East (1948)	Golden Ball Carriage House	Historical Reconstruction
407-K Duke of Gloucester Street East (1948)	Golden Ball Chair House	Historical Reconstruction
409 Duke of Gloucester Street East (1952)	Unicorns Horn	Historical Reconstruction
410 Duke of Gloucester Street East (1752)	Charlton House	Original
410-A Duke of Gloucester Street East (1826)	Charlton Smokehouse	Original
410-C Duke of Gloucester Street East (1930)	Charlton Kitchen	Historical Reconstruction
410-D Duke of Gloucester Street East (1936)	Charlton Dairy	Historical Reconstruction
410-E Duke of Gloucester Street East (1936)	Charlton Well	Historical Reconstruction
410-G Duke of Gloucester Street East (1950)	Charlton Stable	Historical Reconstruction
410-H Duke of Gloucester Street East (1950)	Charlton Carriage House	Historical Reconstruction
411 Duke of Gloucester Street East (1952)	John Carter Store	Historical Reconstruction
411-B Duke of Gloucester Street East (1952)	John Carter Kitchen	Historical Reconstruction
411-C Duke of Gloucester Street East (1952)	John Carter Stable	Historical Reconstruction
411-D Duke of Gloucester Street East (1952)	John Carter Privy	Historical Reconstruction
412 Duke of Gloucester Street East (1951)	King's Arms Barber Shop	Historical Reconstruction
413 Duke of Gloucester Street East (1932)	Raleigh Tavern	Historical Reconstruction
413-D Duke of Gloucester Street East (1932)	Raleigh Tavern Wellhead	Historical Reconstruction
413-E Duke of Gloucester Street East (1950)	Raleigh Tavern Dairy	Historical Reconstruction
413-F Duke of Gloucester Street East (1952)	Raleigh Tavern Kitchen	Historical Reconstruction
413-G Duke of Gloucester Street East (1952)	Raleigh Tavern Laundry	Historical Reconstruction
413-H Duke of Gloucester Street East (1952)	Raleigh Tavern Necessary Hs	Historical Reconstruction
416 Duke of Gloucester Street East (1951)	King's Arms Tavern	Historical Reconstruction
416-C Duke of Gloucester Street East (1951)	King's Arms Kitchen	Historical Reconstruction
416-D Duke of Gloucester Street East (1951)	King's Arms Laundry	Historical Reconstruction
416-E Duke of Gloucester Street East (1951)	King's Arms Well	Historical Reconstruction
416-F Duke of Gloucester Street East (1951)	King's Arms Stable	Historical Reconstruction
416-G Duke of Gloucester Street East (1951)	King's Arms East Privy	Historical Reconstruction
416-H Duke of Gloucester Street East (1951)	King's Arms West Privy	Historical Reconstruction
417 Duke of Gloucester Street East (????)	Alexander Craig House	Original
417-B Duke of Gloucester Street East (1942)	Alexander Craig Kitchen	Historical Reconstruction
417-C Duke of Gloucester Street East (1942)	Alexander Craig Stable	Historical Reconstruction
417-D Duke of Gloucester Street East (1942)	Alexander Craig Carriage Hse	Historical Reconstruction

**Buildings located in Neighborhoods in an Architectural Preservation  
District**

**Bold – Buildings 50 years old or older**

**HISTORIC AREA NEIGHBORHOOD #37 CONTINUED**

**Duke of Gloucester Street East**

417-E Duke of Gloucester Street East (1942)	Alexander Craig Well & Dairy	Historical Reconstruction
418 Duke of Gloucester Street East (1951)	Alexander Purdie House	Historical Reconstruction
418-B Duke of Gloucester Street East (1951)	Alexander Purdie Kitchen	Historical Reconstruction
418-C Duke of Gloucester Street East (1951)	Alexander Purdie Woodshed	Historical Reconstruction
418-D Duke of Gloucester Street East (1951)	Alexander Purdie Storehouse	Historical Reconstruction
418-E Duke of Gloucester Street East (1951)	Alexander Purdie Well	Historical Reconstruction
418-F Duke of Gloucester Street East (1951)	Alexander Purdie Dairy	Historical Reconstruction
418-G Duke of Gloucester Street East (1951)	Alexander Purdie Smokehse	Historical Reconstruction
418-H Duke of Gloucester Street East (1951)	Alexander Purdie Stable	Historical Reconstruction
418-J Duke of Gloucester Street East (1951)	Alexander Purdie East Privy	Historical Reconstruction
418-K Duke of Gloucester Street East (1951)	Alexander Purdie West Privy	Historical Reconstruction
419 Duke of Gloucester Street East (1941)	Scrivener Store	Historical Reconstruction
419-A Duke of Gloucester Street East (1941)	Scrivener Kitchen	Historical Reconstruction
419-B Duke of Gloucester Street East (1941)	Scrivener Smokehouse	Historical Reconstruction
419-C Duke of Gloucester Street East (1941)	Scrivener Dairy	Historical Reconstruction
420 Duke of Gloucester Street East (1930)	John Coke Office	Historical Reconstruction
421 Duke of Gloucester Street East (1950)	Pasteur & Galt Apothecary Shop	Historical Reconstruction
421-A Duke of Gloucester Street East (1950)	Pasteur & Galt Storehouse	Historical Reconstruction
421-B Duke of Gloucester Street East (1950)	Pasteur & Galt Little Shop	Historical Reconstruction
421-C Duke of Gloucester Street East (1950)	Pasteur & Galt Wellhead	Historical Reconstruction
422 Duke of Gloucester Street East (1953)	Shields Tavern	Historical Reconstruction
422-D Duke of Gloucester Street East (1953)	Shields Storehouse	Historical Reconstruction
422-E Duke of Gloucester Street East (1953)	Shields Stillhouse	Historical Reconstruction
422-F Duke of Gloucester Street East (1953)	Shields Dairy	Historical Reconstruction
422-G Duke of Gloucester Street East (1953)	Shields Stable	Historical Reconstruction
422-H Duke of Gloucester Street East (1953)	Shields Necessary House	Historical Reconstruction
422-J Duke of Gloucester Street East (1953)	Shields West Necessary Hse	Historical Reconstruction
423 Duke of Gloucester Street East (1760)	Nicholson Store	Original
423-D Duke of Gloucester Street East (1950)	Nicholson Shop	Historical Reconstruction
423-E Duke of Gloucester Street East (1950)	Nicholson Privy	Historical Reconstruction
423-F Duke of Gloucester Street East (1950)	Nicholson Storehouse	Historical Reconstruction
425 Duke of Gloucester Street East (1942)	John Crump House	Historical Reconstruction
425-C Duke of Gloucester Street East (1942)	John Crump Brick Kitchen	Historical Reconstruction
425-D Duke of Gloucester Street East (1942)	John Crump Wood Kitchen	Historical Reconstruction
425-E Duke of Gloucester Street East (1942)	John Crump Stable	Historical Reconstruction
425-F Duke of Gloucester Street East (1942)	John Crump Smokehouse	Historical Reconstruction
425-G Duke of Gloucester Street East (1942)	John Crump Dairy & Well	Historical Reconstruction
427 Duke of Gloucester Street East (1942)	Edinburg Castle Tavern	Historical Reconstruction
427-D Duke of Gloucester Street East (1942)	Edinburg Castle Tavern Well	Historical Reconstruction
427-E Duke of Gloucester Street East (1942)	Edinburg Castle Tavern Garage	Historical Reconstruction
427-F Duke of Gloucester Street East (1942)	Edinburg Castle Tavern Smokehse	Historical Reconstruction
427-G Duke of Gloucester Street East (1942)	Edinburg Castle Tavern Laundry	Historical Reconstruction
429 Duke of Gloucester Street East (2013)	Carleton Coffee House	Historical Reconstruction
430 Duke of Gloucester Street East (1755)	Palmer House	Original
430-B Duke of Gloucester Street East (1936)	Palmer Privy	Historical Reconstruction
430-C Duke of Gloucester Street East (1952)	Palmer Well	Historical Reconstruction
430-D Duke of Gloucester Street East (1952)	Palmer Kitchen	Historical Reconstruction

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**HISTORIC AREA NEIGHBORHOOD #37 CONTINUED**

**Duke of Gloucester Street East**

430-E Duke of Gloucester Street East (1952)	Palmer Smokehouse	Historical Reconstruction
433 Duke of Gloucester Street East (1748)	Secretary's Office	Original
433-A Duke of Gloucester Street East (1939)	Secretary's Privy	Historical Reconstruction
500 Duke of Gloucester Street East (1934)	Capitol	Historical Reconstruction
500-D Duke of Gloucester Street East (1934)	Capitol Necessary House	Historical Reconstruction

**Duke of Gloucester Street West**

101 Duke of Gloucester Street West (1770)	Courthouse	Original
102 Duke of Gloucester Street West (1715-16)	Magazine	Original
106 Duke of Gloucester Street West (1948)	Magazine Guardhse & Fire Shed	Historical Reconstruction
113 Duke of Gloucester Street West (1809)	Roscow Cole House	Original
113-B Duke of Gloucester Street West (1956)	Roscow Cole Smokehouse	Historical Reconstruction
113-C Duke of Gloucester Street West (1956)	Roscow Cole Kitchen	Historical Reconstruction
113-D Duke of Gloucester Street West (1956)	Roscow Cole Dairy	Historical Reconstruction
113-E Duke of Gloucester Street West (1956)	Roscow Cole Necessary Hse	Historical Reconstruction
113-G Duke of Gloucester Street West (1956)	Roscow Cole Stable	Historical Reconstruction
114 Duke of Gloucester Street West (1938)	Greenhow Tenement	Historical Reconstruction
114-B Duke of Gloucester Street West (1938)	Greenhow Tenement Smokhse	Historical Reconstruction
114-C Duke of Gloucester Street West (1938)	Greenhow Tenement Well	Historical Reconstruction
114-D Duke of Gloucester Street West (1938)	Greenhow Tenement Kitchen	Historical Reconstruction
114-E Duke of Gloucester Street West (1938)	Greenhow Tenement Stable	Historical Reconstruction
114-F Duke of Gloucester Street West (1938)	Greenhow Tenement Privy	Historical Reconstruction
116 Duke of Gloucester Street West (????)	Greenhow Brick Office	Original
117 Duke of Gloucester Street West (1761-62)	James Geddy House	Original
118 Duke of Gloucester Street West (1938)	Shoemaker's Shop	Historical Reconstruction
120 Duke of Gloucester Street West (1954)	John Greenhow House	Historical Reconstruction
120-E Duke of Gloucester Street West (1954)	John Greenhow Store	Historical Reconstruction
120-H Duke of Gloucester Street West (1954)	John Greenhow Brick Dairy	Historical Reconstruction
120-J Duke of Gloucester Street West (1954)	John Greenhow Wood Kitchen	Historical Reconstruction
120-K Duke of Gloucester Street West (1954)	John Greenhow Well	Historical Reconstruction
120-L Duke of Gloucester Street West (1954)	John Greenhow Smokehouse	Historical Reconstruction
120-M Duke of Gloucester Street West (1954)	John Greenhow Corn House	Historical Reconstruction
120-N Duke of Gloucester Street West (1954)	John Greenhow Stable	Historical Reconstruction
120-P Duke of Gloucester Street West (1954)	John Greenhow Necessary Hs	Historical Reconstruction
120-Q Duke of Gloucester Street West (1954)	John Greenhow Wood Dairy	Historical Reconstruction
122 Duke of Gloucester Street West (1954)	John Greenhow Lumber Hse	Historical Reconstruction
124 Duke of Gloucester Street West (1954)	John Greenhow Brick Kitchen	Historical Reconstruction
201 Duke of Gloucester Street West (1714, 52, 69)	Bruton Parish Church	Original
202 Duke of Gloucester Street West (1932)	Custis Tenement	Historical Reconstruction
202-B Duke of Gloucester Street West (1932)	Custis Tenement Kitchen	Historical Reconstruction
202-D Duke of Gloucester Street West (1932)	Custis Tenement Wellhead	Historical Reconstruction
202-E Duke of Gloucester Street West (1936)	Custis Tenement Woodshed	Historical Reconstruction
202-F Duke of Gloucester Street West (????)	Custis Tenement Necessary	Original
207 Duke of Gloucester Street W (1860)	Bowden-Armistead House	Greek Revival
208 Duke of Gloucester Street West (1962)	Peter Scott Smokehouse	Historical Reconstruction
210-A Duke of Gloucester Street West (1931)	Peter Scott Necessary House	Historical Reconstruction
210-B Duke of Gloucester Street West (1962)	Peter Scott Shop	Historical Reconstruction
210-D Duke of Gloucester Street West (1931)	George Reid Stable	Historical Reconstruction

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**HISTORIC AREA NEIGHBORHOOD #37 CONTINUED**

**Duke of Gloucester Street West**

214 Duke of Gloucester Street West (1953)	Hartwell Perry Tavern	Historical Reconstruction
214-E Duke of Gloucester Street West (1953)	Hartwell Perry Kitchen	Historical Reconstruction
214-F Duke of Gloucester Street West (1953)	Hartwell Perry Well	Historical Reconstruction
214-G Duke of Gloucester Street West (1953)	Hartwell Perry Lumber House	Historical Reconstruction
214-H Duke of Gloucester Street West (1953)	Hartwell Perry Privy	Historical Reconstruction
216 Duke of Gloucester Street West (1770)	Taliaferro Cole Shop	Original
216-A Duke of Gloucester Street West (1941)	Taliaferro Cole Laundry	Historical Reconstruction
220 Duke of Gloucester Street West (1760)	Taliaferro Cole House	Original
220-A Duke of Gloucester Street West (1941)	Taliaferro Cole Kitchen	Historical Reconstruction
220-B Duke of Gloucester Street West (1941)	Taliaferro Cole Smokehouse	Historical Reconstruction
220-C Duke of Gloucester Street West (1941)	Taliaferro Cole Stable	Historical Reconstruction
220-D Duke of Gloucester Street West (1941)	Taliaferro Cole Coach House	Historical Reconstruction
220-E Duke of Gloucester Street West (1941)	Taliaferro Cole Privy	Historical Reconstruction
302 Duke of Gloucester Street West (1942)	Bryan House	Historical Reconstruction
302-B Duke of Gloucester Street West (1942)	Bryan Kitchen	Historical Reconstruction
302-C Duke of Gloucester Street West (1942)	Bryan Stable	Historical Reconstruction
302-D Duke of Gloucester Street West (1942)	Bryan Smokehouse	Historical Reconstruction
302-E Duke of Gloucester Street West (1942)	Bryan Wellhead	Historical Reconstruction
305-H Duke of Gloucester Street West (1957)	Hunter Tenement	Historical Reconstruction
306 Duke of Gloucester Street West (1951)	Catherine Blaikley House	Historical Reconstruction
306-D Duke of Gloucester Street West (1951)	Catherine Blaikley Kitchen	Historical Reconstruction
306-F Duke of Gloucester Street West (1951)	Catherine Blaikley Laundry	Historical Reconstruction
306-G Duke of Gloucester Street West (1951)	Catherine Blaikley Privy	Historical Reconstruction
308 Duke of Gloucester Street West (1951)	Durfey Shop	Historical Reconstruction
309 Duke of Gloucester Street West (1935)	John Blair Garage (East)	Historical Reconstruction
311 Duke of Gloucester Street West (1720-23)	John Blair House East	Original
313 Duke of Gloucester Street West (1737)	John Blair House West	Original
313-A Duke of Gloucester Street West (1931)	John Blair Garage (West)	Historical Reconstruction
313-B Duke of Gloucester Street West (1931)	John Blair Wellhead	Historical Reconstruction
311-C Duke of Gloucester Street West (1931)	John Blair Kitchen	Historical Reconstruction
311-D Duke of Gloucester Street West (1931)	John Blair Smokehouse	Historical Reconstruction
315 Duke of Gloucester Street West (1935)	John Blair Woodshed	Historical Reconstruction

**England Street North**

212-B England Street North (1957)	Robertson's Storehouse	Historical Reconstruction
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**England Street South**

305 England Street South (1937)	Craft House	Colonial Revival
307 England Street South (1955)	AARFAM	Colonial Revival
309 England Street South (1940)	Williamsburg Inn Bath House & Pools	Colonial Revival
310 England Street South (1937-38)	Williamsburg Lodge	Colonial Revival
310-A & B England Street South (2005)	Williamsburg Lodge East Guesthouses	Colonial Revival
310-C England Street South (1947)	Williamsburg Lodge South Wing	Colonial Revival
310-K England Street South (1985)	Williamsburg Lodge Tazewell Wing	Modern

## Buildings located in Neighborhoods in an Architectural Preservation District

**Bold – Buildings 50 years old or older**

### HISTORIC AREA NEIGHBORHOOD #37 CONTINUED

#### England Street South

310-N & P England Street South (2006)	Williamsburg Lodge	Colonial Revival
	North Guesthouses	
315 England Street South (1966)	Golden Horseshoe Golf Club	Colonial Revival

#### Francis Street East

110 Francis Street East (1961)	Lightfoot Tenement	Historical Reconstruction
110-B Francis Street East (1961)	Lightfoot Tenement Well	Historical Reconstruction
110-C Francis Street East (1961)	Lightfoot Tenement Privy	Historical Reconstruction
120 Francis Street East (1730)	Lightfoot House	Original
120-A Francis Street East (1941)	Lightfoot Kitchen	Historical Reconstruction
120-B Francis Street East (1941)	Lightfoot Laundry	Historical Reconstruction
120-C Francis Street East (1941)	Lightfoot Smokehouse	Historical Reconstruction
120-D Francis Street East (1941)	Lightfoot Well	Historical Reconstruction
120-E Francis Street East (1941)	Lightfoot Dairy	Historical Reconstruction
201-B Francis Street East (1952)	Masonic Kitchen	Historical Reconstruction
201-C Francis Street East (1952)	Masonic Dairy	Historical Reconstruction
201-D Francis Street East (1952)	Masonic Smokehouse	Historical Reconstruction
201-F Francis Street East (1952)	Masonic Privy	Historical Reconstruction
206 Francis Street East (1760)	Bracken Tenement	Original
206-A Francis Street East (????)	Bracken Tenement Smokehouse	Original
206-D Francis Street East (1950)	Bracken Tenement Kitchen	Historical Reconstruction
210 Francis Street East (1950)	Richard Crump House	Historical Reconstruction
210-B Francis Street East (1950)	Richard Crump Woodshed	Historical Reconstruction
212 Francis Street East (early 19 <sup>th</sup> Century)	Quarter	Original
233 Francis Street East (1930)	Masonic Lodge	Colonial Revival
301 Francis Street East (1949)	Lewis House	Historical Reconstruction
301-B Francis Street East (1949)	Lewis Privy	Historical Reconstruction
302 Francis Street East (1770)	Orrell House	Original
302-B Francis Street East (1941)	Orrell Kitchen	Historical Reconstruction
312 Francis Street East (1750)	Moody House	Original
312-A Francis Street East (1940)	Moody Kitchen	Historical Reconstruction
312-B Francis Street East (1940)	Moody Dairy	Historical Reconstruction
312-C Francis Street East (1940)	Moody Well	Historical Reconstruction
312-D Francis Street East (????)	Moody Smokehouse	Original
327 Francis Street East (????)	Dr. Barraud Privy	Original
329 Francis Street East (1942)	Dr. Barraud Kitchen	Historical Reconstruction
331 Francis Street East (1750-75)	Dr. Barraud House	Original
331-A Francis Street East (1942)	Dr. Barraud Smokehouse	Historical Reconstruction
331-B Francis Street East (1942)	Dr. Barraud Well	Historical Reconstruction
338 Francis Street East (1760-70)	Ewing House	Original
338-A Francis Street East (1940)	Ewing Smokehouse	Historical Reconstruction
338-B Francis Street East (1940)	Ewing Shop	Historical Reconstruction
338-C Francis Street East (1940)	Ewing Storehouse	Historical Reconstruction
416 Francis Street East (1951)	Chiswell Bucktrout House	Historical Reconstruction
416-A Francis Street East (1951)	Chiswell Bucktrout Kitchen	Historical Reconstruction
416-B Francis Street East (1951)	Chiswell Bucktrout Dairy	Historical Reconstruction
416-C Francis Street East (1951)	Chiswell Bucktrout Well	Historical Reconstruction

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**HISTORIC AREA NEIGHBORHOOD #37 CONTINUED**

**Francis Street East**

416-D Francis Street East (1951)	Chiswell Bucktrout Smokehse	Historical Reconstruction
416-E Francis Street East (1951)	Chiswell Bucktrout Storehse	Historical Reconstruction
416-F Francis Street East (1951)	Chiswell Bucktrout East Privy	Historical Reconstruction
416-G Francis Street East (1951)	Chiswell Bucktrout West Privy	Historical Reconstruction
416-I Francis Street East (1951)	Chiswell Bucktrout Sheep Shelter	Historical Reconstruction
422 Francis Street East (1940)	Providence Hall Maint Shed	Colonial Revival
425 Francis Street East (1695, 1707-25)	Nelson Galt House	Original
425-E Francis Street East (1952)	Nelson Galt Stable	Historical Reconstruction
425-F Francis Street East (1952)	Nelson Galt Well	Historical Reconstruction
425-G Francis Street East (1952)	Nelson Galt Smokehouse	Historical Reconstruction
425-H Francis Street East (1952)	Nelson Galt Woodhouse	Historical Reconstruction
425-J Francis Street East (1952)	Nelson Galt Necessary Hse	Historical Reconstruction
425-K Francis Street East (1931)	Nelson Galt Garden House	Historical Reconstruction
453 Francis Street East (????)	Nelson Galt Office	Original
505 Francis Street East (1931)	Ayscough House	Historical Reconstruction
505-A Francis Street East (1931)	Ayscough Kitchen	Historical Reconstruction
505-D Francis Street East (1931)	Ayscough Well	Historical Reconstruction
506 Francis Street East (1772-78)	William Finnie House	Original
506-A Francis Street East (1931)	William Finnie Well	Historical Reconstruction
506-B Francis Street East (1951)	William Finnie Kitchen	Historical Reconstruction
506-C Francis Street East (1931)	William Finnie Dairy	Historical Reconstruction
506-D Francis Street East (1951)	William Finnie Office	Historical Reconstruction
506-E Francis Street East (1936)	William Finnie Stable	Historical Reconstruction
506-F Francis Street East (1790's)	William Finnie Quarters	Original
506-G Francis Street East (1951)	William Finnie Smokehouse	Historical Reconstruction
506-H Francis Street East (1951)	William Finnie Laundry	Historical Reconstruction
506-J Francis Street East (1951)	William Finnie West Privy	Historical Reconstruction
506-K Francis Street East (1951)	William Finnie East Privy	Historical Reconstruction
521 Francis Street East (1952)	James Moir House	Historical Reconstruction
521-A Francis Street East (1952)	James Moir Kitchen	Historical Reconstruction
521-B Francis Street East (1952)	James Moir Diary	Historical Reconstruction
521-C Francis Street East (1952)	James Moir Smokehouse	Historical Reconstruction
521-D Francis Street East (1952)	James Moir Well	Historical Reconstruction
521-E Francis Street East (1952)	James Moir Privy	Historical Reconstruction
522 Francis Street (1753-66)	Bassett Hall	Original
522-B Francis Street East (1936)	Bassett Hall Reception Bldg	Historical Reconstruction
522-C Francis Street East (1937)	Bassett Hall Orangery	Historical Reconstruction
522-D Francis Street East (1937)	Bassett Hall Well	Historical Reconstruction
522-E Francis Street East (1932)	Bassett Hall Boathouse	Historical Reconstruction
524 Francis Street East (mid-18 <sup>th</sup> Century)	Bassett Hall Smokehouse	Original
525 Francis Street East (1952)	James Moir Shop	Historical Reconstruction
525-A Francis Street (1952)	James Moir Shop Kitchen	Historical Reconstruction
525-B Francis Street (1952)	James Moir Shop Dairy	Historical Reconstruction
525-C Francis Street (1952)	James Moir Shop Privy	Historical Reconstruction
525-D Francis Street (1952)	James Moir Shop Smokehse	Historical Reconstruction
525-E Francis Street (1952)	James Moir Shop Stable	Historical Reconstruction
526 Francis Street East (mid-18 <sup>th</sup> Century)	Bassett Hall Kitchen	Original
528 Francis Street East mid-18 <sup>th</sup> Century)	Bassett Hall Dairy	Original
530 Francis Street East (1932)	Bassett Hall Cottage	Historical Reconstruction

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**HISTORIC AREA NEIGHBORHOOD #37 CONTINUED**

**Francis Street East**

531 Francis Street (1951)	George Davenport House	Historical Reconstruction
531-A Francis Street East (1950)	George Davenport Kitchen	Historical Reconstruction
531-B Francis Street East (1950)	George Davenport Privy	Historical Reconstruction
531-C Francis Street East (1950)	George Davenport Stable	Historical Reconstruction
532 Francis Street East (1932)	Bassett Hall Garage	Historical Reconstruction
550 Francis Street East (1750)	Benjamin Waller House	Original
550-A Francis Street East (1953)	Benjamin Waller Kitchen	Historical Reconstruction
550-B Francis Street East (1953)	Benjamin Waller Office	Historical Reconstruction
550-C Francis Street East (mid-18 <sup>th</sup> Century)	Benjamin Waller Smokehouse	Original
550-D Francis Street East (1953)	Benjamin Waller Dairy	Historical Reconstruction
550-E Francis Street East (1953)	Benjamin Waller Storehouse	Historical Reconstruction
550-F Francis Street East (1953)	Benjamin Waller Stable	Historical Reconstruction
550-G Francis Street East (1953)	Benjamin Waller East Privy	Historical Reconstruction
550-H Francis Street East (1953)	Benjamin Waller West Privy	Historical Reconstruction
550-J Francis Street East (1953)	Benjamin Waller Hen House	Historical Reconstruction
550-K Francis Street East (1953)	Benjamin Waller Garden Hse	Historical Reconstruction
550-W Francis Street East (1953)	Benjamin Waller Well	Historical Reconstruction

**Francis Street West**

102 Francis Street West (1933)	Nicholas Tyler Office	Historical Reconstruction
109 Francis Street West (1950)	Market Square Pump	Historical Reconstruction
110 Francis Street West (1933)	Nicholas Tyler Laundry	Historical Reconstruction
110-A Francis Street West (1940)	Nicholas Tyler Well	Historical Reconstruction
202 Francis Street West (????)	Custis Kitchen	Original
341 Francis Street West (1929)	Dr. Barrett House	Historical Reconstruction
345 Francis Street West (1765)	Travis House	Original

**Franklin Street East**

315 Franklin Street East (????)	Franklin Street Kitchen	Original
401 Franklin Street (1932)	Mt. Ararat Baptist Church	Georgian Revival

**Nicholson Street East**

101 Nicholson Street East (1754-55)	Peyton Randolph East House	Original
101 Nicholson Street East (1715-18)	Peyton Randolph West House	Original
105 Nicholson Street East (1953)	Ludwell Tenement	Historical Reconstruction
105-C Nicholson Street East (1953)	Ludwell Privy	Historical Reconstruction
205 Nicholson Street East (1752)	Tayloe Storehouse	Original
207 Nicholson Street East (1752-59)	Tayloe House	Original
207-A Nicholson Street East (1752)	Tayloe Smokehouse	Original
207-B Nicholson Street East (1752)	Tayloe Office	Original
207-C Nicholson Street East (1951)	Tayloe Kitchen	Historical Reconstruction
207-D Nicholson Street East (1951)	Tayloe Laundry	Historical Reconstruction
207-E Nicholson Street East (1951)	Tayloe East Privy	Historical Reconstruction
207-F Nicholson Street East (1951)	Tayloe West Privy	Historical Reconstruction
310 Nicholson Street East (1958)	Elizabeth Reynolds House	Historical Reconstruction
310-B Nicholson Street East (1958)	Elizabeth Reynolds Kitchen	Historical Reconstruction
310-C Nicholson Street East (1958)	Elizabeth Reynolds Well	Historical Reconstruction
406 Nicholson Street East (1948)	William Randolph Lodgings	Historical Reconstruction

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**HISTORIC AREA NEIGHBORHOOD #37 CONTINUED**

**Nicholson Street East**

449 Nicholson Street East (1707)	Booker Tenement	Original
461 Nicholson Street East (1704-22)	Public Goal	Original
461-A Nicholson Street East (1936)	Public Goad Privy	Historical Reconstruction
461-B Nicholson Street East (1936)	Gallows	Historical Reconstruction
463 Nicholson Street East (1760)	Coke Garrett Privy	Original
465 Nicholson Street East (1760, 1836-37)	Coke Garrett House	Original
465-B Nicholson Street East (1928)	Coke Garrett Dairy	Historical Reconstruction
465-C Nicholson Street East (1928)	Coke Garrett Wellhead	Historical Reconstruction
465-F Nicholson Street East (1928)	Coke Garrett Kitchen	Historical Reconstruction
465-G Nicholson Street East (1928)	Coke Garrett Storehouse	Historical Reconstruction
465-H Nicholson Street East (1928)	Coke Garrett Smokehouse	Historical Reconstruction

**Nicholson Street West**

101 Nicholson Street West (1760)	Grissell Hay Lodging House	Original
101-A Nicholson Street West (1956)	Grissell Hay Stable	Historical Reconstruction
103 Nicholson Street West (1750)	Grissell Hay Kitchen	Original
103-A Nicholson Street West (1950)	Grissell Hay Well	Historical Reconstruction
105 Nicholson Street West (1750)	Grissell Hay Privy	Original
105-B Nicholson Street West (1750)	Grissell Hay Dairy	Original
107 Nicholson Street West (1750)	Grissell Hay Smokehouse	Original
109 Nicholson Street West (1931)	Grissell Hay Corncrib	Historical Reconstruction
113 Nicholson Street West (1788-92)	St. George Tucker House	Original
113-B Nicholson Street West (1931)	St. George Tucker Wellhead	Historical Reconstruction
113-C Nicholson Street West (1931)	St. George Tucker Smokehse	Historical Reconstruction
113-D Nicholson Street West (1931)	St. George Tucker Dairy	Historical Reconstruction

**Palace Green**

112 Palace Green (1752-54)	George Wythe House	Original
112-A Palace Green (1940)	George Wythe South Office	Historical Reconstruction
112-B Palace Green (1940)	George Wythe Laundry	Historical Reconstruction
112-C Palace Green (1940)	George Wythe Smokehouse	Historical Reconstruction
112-D Palace Green (1940)	George Wythe Lumber House	Historical Reconstruction
112-E Palace Green (1940)	George Wythe Stable	Historical Reconstruction
112-F Palace Green (1940)	George Wythe West Privy	Historical Reconstruction
112-G Palace Green (1940)	George Wythe East Privy	Historical Reconstruction
112-H Palace Green (1940)	George Wythe Dovecote	Historical Reconstruction
112-I Palace Green (1940)	George Wythe Fowl House	Historical Reconstruction
112-K Palace Green (1940)	George Wythe South Well	Historical Reconstruction
112-L Palace Green (1940)	George Wythe Fattening Coop	Historical Reconstruction
112-M Palace Green (1940)	George Wythe North Well	Historical Reconstruction
114 Palace Green (1940)	George Wythe Kitchen	Historical Reconstruction
201 Palace Green (1939)	Elkanah Deane House	Historical Reconstruction
201-B Palace Green (1939)	Elkanah Deane Kitchen	Historical Reconstruction
201-C Palace Green (1939)	Elkanah Deane Harness Shop	Historical Reconstruction
201-D Palace Green (1939)	Elkanah Deane Well	Historical Reconstruction
201-E Palace Green (1939)	Elkanah Deane Servant's Qtrs	Historical Reconstruction
201-F Palace Green (1939)	Elkanah Deane East Privy	Historical Reconstruction
201-G Palace Green (1939)	Elkanan Deane West Privy	Historical Reconstruction

**Buildings located in Neighborhoods in an Architectural Preservation  
District**

**Bold – Buildings 50 years old or older**

**HISTORIC AREA NEIGHBORHOOD #37 CONTINUED**

**Palace Green**

201-H Palace Green (1939)	Elkanan Deane Woodshed	Historical Reconstruction
201-K Palace Green (1939)	Elkanan Deane Shop Shelter	Historical Reconstruction
206 Palace Green (1930)	Levingston Kitchen	Historical Reconstruction
207 Palace Green (1951)	McKenzie Shop	Historical Reconstruction
209 Palace Green (1747)	Robert Carter House	Original
209-A Palace Green (1932)	Robert Carter Privy	Historical Reconstruction
209-B Palace Green (1932)	Robert Carter North Well	Historical Reconstruction
209-E Palace Green (1932)	Robert Carter Poultry House	Historical Reconstruction
209-F Palace Green (1932)	Robert Carter Office	Historical Reconstruction
209-H Palace Green (1932)	Robert Carter Kitchen	Historical Reconstruction
209-J Palace Green (1932)	Robert Carter South Well	Historical Reconstruction
209-K Palace Green (1932)	Robert Carter Meat House	Historical Reconstruction
209-L Palace Green (1932)	Robert Carter Chariot House	Historical Reconstruction
209-M Palace Green (1932)	Robert Carter Stable	Historical Reconstruction
209-Q Palace Green (1932)	Robert Carter Dairy	Historical Reconstruction
209-R Palace Green (1932)	Robert Carter Sheep Shelter	Historical Reconstruction
210 Palace Green (1718)	Thomas Everard Smokehse	Original
212 Palace Green (1718)	Thomas Everard Kitchen	Original
214 Palace Green (1718-20)	Thomas Everard House	Original
214-A Palace Green (1951)	Thomas Everard Office	Historical Reconstruction
214-B Palace Green (1951)	Thomas Everard Laundry	Historical Reconstruction
214-C Palace Green (1951)	Thomas Everard Dairy & Well	Historical Reconstruction
214-D Palace Green (1951)	Thomas Everard N Necc Hse	Historical Reconstruction
214-E Palace Green (1951)	Thomas Everard S Necc Hse	Historical Reconstruction
214-F Palace Green (1951)	Thomas Everard Privy	Historical Reconstruction
214-G Palace Green (1951)	Thomas Everard Chicken Hse	Historical Reconstruction
215 Palace Green (1747)	Robert Carter Brick Qrters	Original
216 Palace Green (1933)	Governor's Palace Power Hse	Historical Reconstruction
300 Palace Green (1934)	Governor's Palace	Historical Reconstruction
300-B Palace Green (1934)	Governor's Palace West Flkg	Historical Reconstruction
300-C Palace Green (1934)	Governor's Palace East Flkg	Historical Reconstruction
300-D Palace Green (1934)	Governor's Palace Conv Station	Historical Reconstruction
300-E Palace Green (1934)	Governor's Palace Outbldg	Historical Reconstruction
300-F Palace Green (1934)	Governor's Palace East Outbldg	Historical Reconstruction
300-G Palace Green (1934)	Governor's Palace East Well	Historical Reconstruction
300-H Palace Green (1934)	Governor's Palace Scullery	Historical Reconstruction
300-I Palace Green (1934)	Governor's Palace East Entry	Historical Reconstruction
300-J Palace Green (1934)	Governor's Palace Kitchen	Historical Reconstruction
300-K Palace Green (1934)	Governor's Palace West Entry	Historical Reconstruction
300-L Palace Green (1934)	Governor's Palace Smokehse	Historical Reconstruction
300-M Palace Green (1934)	Governor's Palace Laundry	Historical Reconstruction
300-N Palace Green (1934)	Governor's Palace Oven	Historical Reconstruction
300-P Palace Green (1934)	Governor's Palace Salthouse	Historical Reconstruction
300-Q Palace Green (1934)	Governor's Palace West Well	Historical Reconstruction
300-R Palace Green (1934)	Governor's Palace Hexagonal	Historical Reconstruction
300-V Palace Green (1934)	Governor's Palace Privy	Historical Reconstruction

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**HISTORIC AREA NEIGHBORHOOD #37 CONTINUED**

**Palace Green**

300-W Palace Green (1934)	Governor's Palace W Guard Hse	Historical Reconstruction
300-X Palace Green (1934)	Governor's Palace E Guard Hse	Historical Reconstruction
300-Y Palace Green (1934)	Governor's Palace Tool Hse	Historical Reconstruction
302-Z Palace Green (????)	Governor's Palace Icehouse	Original

**Prince George Street**

200 Prince George Street (1949)	Armistead House	Colonial Revival
303 Prince George Street (1715-16. 52)	Timson House	Original
303-A Prince George Street (1958)	Timson Wellhead	Historical Reconstruction

**Scotland Street**

117 Scotland Street (1934)	Governor's Palace Stable	Historical Reconstruction
117-A Scotland Street (1934)	Governor's Palace Coach Hse	Historical Reconstruction
117-B Scotland Street (1934)	Governor's Palace State Coach	Historical Reconstruction

**Tyler Street**

410 Tyler Street (1753)	Seymour Powell Tenement	Original
420 Tyler Street (1760)	James Galt House	Original

**York Street**

135 York Street (1954)	George Jackson House & Store	Historical Reconstruction
135-B York Street (1954)	George Jackson Well	Historical Reconstruction
135-D York Street (1954)	George Jackson Necessary	Historical Reconstruction
137 York Street (1948)	Cogar Shop	Historical Reconstruction
139 York Street (1751-53)	Robert Nicholson House	Original
139-E York Street (1953)	Robert Nicholson Smokehse	Historical Reconstruction

**Waller Street North**

102 Waller Street North (1952)	Blue Bell	Historical Reconstruction
102-B Waller Street North (1952)	Blue Bell East Privy	Historical Reconstruction
102-C Waller Street North (1952)	Blue Bell West Privy	Historical Reconstruction
102-D Waller Street North (1952)	Blue Bell Garden House	Historical Reconstruction
103 Waller Street North (1957)	Elizabeth Carlos House	Historical Reconstruction
103-A Waller Street North (1957)	Elizabeth Carlos Kitchen	Historical Reconstruction
103-B Waller Street North (1957)	Elizabeth Carlos Well	Historical Reconstruction
103-C Waller Street North (1957)	Elizabeth Carlos Necessary Hse	Historical Reconstruction
104 Waller Street North (1934)	Powell's Tenement	Historical Reconstruction
107 Waller Street North (1793-1820)	Benjamin Powell Office	Original
108 Waller Street North (1951)	Powell's Kitchen	Historical Reconstruction
108-C Waller Street North (1951)	Powell's Wellhead	Historical Reconstruction
109 Waller Street North (1763)	Benjamin Powell House	Original
109-A Waller Street North (1956)	Benjamin Powell Lumberhse	Historical Reconstruction
109-B Waller Street North (1956)	Benjamin Powell Stable	Historical Reconstruction
109-C Waller Street North (1956)	Benjamin Powell North Privy	Historical Reconstruction
109-D Waller Street North (1956)	Benjamin Powell South Privy	Historical Reconstruction
109-E Waller Street North (1956)	Benjamin Powell Hen House	Historical Reconstruction

**Buildings located in Neighborhoods in an Architectural Preservation  
District**

**Bold – Buildings 50 years old or older**

**HISTORIC AREA NEIGHBORHOOD #37 CONTINUED**

**Waller Street North**

110 Waller Street North (1951)	Powell's Storehouse	Historical Reconstruction
110-E Waller Street North (1951)	Powell's Privy	Historical Reconstruction
111 Waller Street North (1793-1820)	Benjamin Powell Dairy	Original
113 Waller Street North (1793-1820)	Benjamin Powell Smokehse	Original
115 Waller Street North (1793-1820)	Benjamin Powell Kitchen	Original
115-B Waller Street North (1956)	Benjamin Powell Well	Historical Reconstruction

**Waller Street South**

101 Waller Street South (1956)	Christiana Campbell Tavern	Historical Reconstruction
101-A Waller Street South (1956)	Christiana Campbell Quarters	Historical Reconstruction
101-B Waller Street South (1956)	Christiana Campbell Smokehse	Historical Reconstruction
101-C Waller Street South (1956)	Christiana Campbell Well	Historical Reconstruction
101-D Waller Street South (1956)	Christiana Campbell Necc Hse	Historical Reconstruction
105 Waller Street South (1954)	Isham Goddin Shop	Historical Reconstruction
105-A Waller Street South (1954)	Isham Goddin Kitchen	Historical Reconstruction
109 Waller Street South (1954)	David Morton House	Historical Reconstruction
109-B Waller Street South (1954)	David Morton Kitchen	Historical Reconstruction
109-C Waller Street South (1954)	David Morton Shop	Historical Reconstruction
109-D Waller Street South (1954)	David Morton Well	Historical Reconstruction
109-E Waller Street South (1954)	David Morton Necessary Hse	Historical Reconstruction

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**INDIAN SPRINGS NEIGHBORHOOD #41**

**Indian Springs Court**

602 Indian Springs Court (1972, 97)	Hathaway House	Vernacular
604 Indian Springs Court (1974, 79, 2000)	Elliott House	Colonial Revival
606 Indian Springs Court (1975, 99)	Hunter House	Colonial Revival
609 Indian Springs Court (1974, 87, 96)	Winter House	Modern

**Indian Springs Road**

<b>105 Indian Springs Road (1949)</b>	<b>Horace Henderson House</b>	<b>Vernacular</b>
<b>106 Indian Springs Road (1956)</b>		<b>Vernacular</b>
107 Indian Springs Road (1971, 83)	Ticknor House	Colonial Revival
109 Indian Springs Road (1975)	Walker House	Revival
110 Indian Springs Road (1971)	Creasy House	Colonial Revival
<b>111 Indian Springs Road (1942, 84)</b>	<b>Ayers House</b>	<b>Colonial Revival</b>
<b>112 Indian Springs Road (1948)</b>	<b>Indian Springs Apartments</b>	<b>Colonial Revival</b>
<b>116 Indian Springs Road (1940)</b>	<b>Duborg House</b>	<b>Georgian Revival</b>
<b>117 Indian Springs Road (1941)</b>	<b>Foerster House</b>	<b>Colonial Revival</b>
<b>118 Indian Springs Road (1952)</b>	<b>VonDubell House</b>	<b>Vernacular</b>
<b>119 Indian Springs Road (1963, 98)</b>	<b>McElhenk House</b>	<b>Colonial Revival</b>
<b>120 Indian Springs Road (1951)</b>	<b>Dye House</b>	<b>Colonial Revival</b>
<b>121 Indian Springs Road (1940)</b>		<b>Virginia Gambrel</b>
<b>122 Indian Springs Road (1953, 83)</b>	<b>Klapper House</b>	<b>Vernacular</b>
<b>123 Indian Springs Road (1949, 81, 94)</b>	<b>McDuffee House</b>	<b>Colonial Revival</b>
<b>124 Indian Springs Road (1940, 77, 2003)</b>		<b>Colonial Revival</b>
<b>125 Indian Springs Road (1949, 93, 98, 05)</b>		<b>Colonial Revival</b>
<b>127 Indian Springs Road (1998)</b>	<b>Wiking House</b>	<b>Vernacular</b>
<b>128 Indian Springs Road (1940)</b>	<b>Fletcher House</b>	<b>Colonial Revival</b>
<b>129 Indian Springs Road (1950)</b>	<b>Strong House</b>	<b>Vernacular</b>
<b>130 Indian Springs Road (1950, 86, 93, 99)</b>	<b>Potts House</b>	<b>Vernacular</b>
<b>131 Indian Springs Road (1942)</b>		<b>Colonial Revival</b>
<b>133 Indian Springs Road (1960)</b>	<b>Hall House</b>	<b>Split Level</b>
134 Indian Springs Road (1978)	Riley House	Colonial Revival
<b>135 Indian Springs Road (1940, 85)</b>		<b>Colonial Revival</b>
138 Indian Springs Road (1979)	<b>Robinson House</b>	<b>Colonial Revival</b>
<b>139 Indian Springs Road (1940, 79)</b>	<b>Harrison House</b>	<b>Colonial Revival</b>
<b>141 Indian Springs Road (1940, 95, 2003, 10)</b>		<b>Colonial Revival</b>
145 Indian Springs Road (1977, 93)	Powell House	Colonial Revival
<b>149 Indian Springs Road (1949, 78, 96)</b>	<b>McCreay House</b>	<b>Vernacular</b>
<b>151 Indian Springs Road (1962)</b>	<b>Kinsinger House</b>	<b>Colonial Revival</b>
<b>153 Indian Springs Road (1953, 90)</b>	<b>Thomas Hall House</b>	<b>Modernism</b>
<b>200 Indian Springs Road (1958)</b>	<b>Duncan House</b>	<b>Vernacular</b>
<b>201 Indian Springs Road (1938)</b>		<b>Vernacular</b>
<b>202 Indian Springs Road (1930)</b>		<b>Colonial Revival</b>
<b>204 Indian Springs Road (1930, 91)</b>		<b>Colonial Revival</b>
<b>205 Indian Springs Road (1961)</b>	<b>Evans House</b>	<b>Colonial Revival</b>
<b>207 Indian Springs Road (1952)</b>	<b>Leonard House</b>	<b>Colonial Revival</b>
<b>209 Indian Springs Road (1955)</b>	<b>William Hodges House</b>	<b>Colonial Revival</b>
<b>210 Indian Springs Road (1957)</b>	<b>Darst House</b>	<b>Colonial Revival</b>
<b>211 Indian Springs Road (1947)</b>	<b>Eunice Hall House</b>	<b>Cape Cod</b>
213 Indian Springs Road (1978)	Robinson House	Colonial Revival

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**INDIAN SPRINGS NEIGHBORHOOD #41 CONTINUED**

**Indian Springs Road**

300 Indian Springs Road (1995)	Seats House	Colonial Revival
<b>301 Indian Springs Road (1939, 83, 85)</b>	<b>Williams House</b>	<b>Colonial Revival</b>
<b>302 Indian Springs Road (1950)</b>	<b>Mason House</b>	<b>Colonial Revival</b>
<b>303 Indian Springs Road (1963)</b>	<b>Levitt House</b>	<b>Vernacular</b>
304 Indian Springs Road (1995)	Ciardo House	Vernacular
<b>305 Indian Springs Road (1942, 97)</b>		<b>Colonial Revival</b>
306 Indian Springs Road (1965, 01)	Bell House	Vernacular
<b>307 Indian Springs Road (1950)</b>	<b>Rawl House</b>	<b>Vernacular</b>
<b>308 Indian Springs Road (1963, 96)</b>	<b>Burroughs House</b>	<b>Vernacular</b>
<b>309 Indian Springs Road (1947)</b>	<b>Keller House</b>	<b>Vernacular</b>
<b>311 Indian Springs Road (1953)</b>	<b>Hornsby House</b>	<b>Colonial Revival</b>
<b>312 Indian Springs Road (1949)</b>		<b>Vernacular</b>
314 Indian Springs Road (1996)	Kostel House	Modernism
<b>316 Indian Springs Road (1952)</b>	<b>Lewis House</b>	<b>Colonial Revival</b>
320 Indian Springs Road (1994)	Schone House	Modernism
<b>322 Indian Springs Road (1933, 99, 00)</b>		<b>Colonial Revival</b>
<b>324 Indian Springs Road (1957)</b>	<b>Smith House</b>	<b>Colonial Revival</b>
<b>328 Indian Springs Road (1955, 77, 80, 06, 10)</b>	<b>Osborne House</b>	<b>Vernacular</b>
330 Indian Springs Road (1976)	Charbeneau House	Virginia Gambrel

**Jamestown Road**

<b>520 Jamestown Road (1840,-69, 1890, 1938)</b>	<b>Frank Powell House</b>	<b>Gabel-ell, I House</b>
<b>600 Jamestown Road (1930, 87, 06)</b>	<b>Temple Beth-El</b>	<b>Colonial Revival</b>
<b>604 Jamestown Road (1928, 04)</b>		<b>Colonial Revival</b>
<b>604 ½ Jamestown Road (1928)</b>		<b>Colonial Revival</b>
<b>608 Jamestown Road (1935, 85, 86)</b>	<b>Carmines House</b>	<b>Colonial Revival</b>
610 Jamestown Road (1966)	Rose House	Ranch

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**PENNIMAN/SECOND STREET NEIGHBORHOOD #26**

**Page Street**

301 Page Street (1974)  
**309 Page Street (1956)**

Colonial Pancake House  
**The Colony Motel**

Vernacular  
**Vernacular**

**Penniman Road**

101 Penniman Road (1957)  
 115 Penniman Road (1982)  
 118 Penniman Road (1920)  
 122 Penniman Road (1952)  
 147 Penniman Road (1971, 81, 90)  
 201 Penniman Road (1981)  
**239 Penniman Road (1950)**  
**311 Penniman Road (1920, 79, 83)**  
**315 Penniman Road (1920, 2010)**  
**319 Penniman Road (1920)**  
**319-A Penniman Road (1920)**  
**319-B Penniman Road (1920)**  
 321-A Penniman Road (1988)  
**323-A Penniman Road (1987)**  
**323-C Penniman Road (1900)**  
**331 Penniman Road (1940)**

Best Western Inn  
  
 Williams House  
 Brooks Office Building  
 Fernandez Office Building

Vernacular  
 Modernism  
 Vernacular  
 Vernacular  
 Vernacular  
 Vernacular  
**Colonial Revival**  
**Vernacular**  
**Colonial Revival**  
**Colonial Revival**  
**Colonial Revival**  
 Vernacular  
 Vernacular  
**Vernacular**  
**Vernacular**  
**Vernacular**

**Rogers House**

**Dominion Land Trust**

**Second Street**

**102 Second Street (1945)**  
**118 Second Street (1945)**  
**124 Second Street (1945)**

**Howard Motor Company**

**Vernacular**  
**Vernacular**  
**Vernacular**

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**PINECREST NEIGHBORHOOD #32**

**Grove Avenue**

<b>3 Grove Avenue (1950)</b>		<b>Vernacular</b>
<b>5 Grove Avenue (1941)</b>	<b>Labbarre House</b>	<b>Vernacular</b>
<b>7 Grove Avenue (1941)</b>	<b>Wilson House</b>	<b>Vernacular</b>
<b>11 Grove Avenue (1948)</b>	<b>Tudor House</b>	<b>Vernacular</b>
13 Grove Avenue (1977)	Wending House	Vernacular
15 Grove Avenue (1972, 96)	McCoy House	Vernacular
17 Grove Avenue (1972)	Warren House	Vernacular
19 Grove Avenue (1972)	Hayes House	Vernacular

**Hamilton Street**

<b>701 Hamilton Street (1939)</b>	<b>Gigl House</b>	<b>Vernacular</b>
<b>702 Hamilton Street (1948)</b>		<b>Vernacular</b>
<b>704 Hamilton Street (1941, 90)</b>	<b>Cagney House</b>	<b>Vernacular</b>
<b>705 Hamilton Street (1939)</b>	<b>Rau House</b>	<b>Colonial Revival</b>
<b>706 Hamilton Street (1949, 90)</b>	<b>Gilmore House</b>	<b>Vernacular</b>
<b>708 Hamilton Street (1951, 80)</b>	<b>Foster House</b>	<b>Vernacular</b>
<b>709 Hamilton Street (1940)</b>	<b>Rogers House</b>	<b>Vernacular</b>
710 Hamilton Street (1980)	Hurley House	Colonial Revival
<b>711 Hamilton Street (1939)</b>	<b>Rosseau House</b>	<b>Colonial Revival</b>
712 Hamilton Street (1998)	Martinello House	Vernacular
<b>713 Hamilton Street (1943)</b>	<b>Farinholt House</b>	<b>Colonial Revival</b>
<b>715 Hamilton Street (1941)</b>	<b>Clark House</b>	<b>Vernacular</b>
<b>717 Hamilton Street (1939)</b>	<b>Briggs House</b>	<b>Colonial Revival</b>

**Monumental Avenue**

<b>701 Monumental Avenue (1953)</b>		<b>Vernacular</b>
<b>702 Monumental Avenue (1962, 80)</b>	<b>Weber House</b>	<b>Vernacular</b>
<b>703 Monumental Avenue (1953, 80, 13)</b>	<b>Harwood House</b>	<b>Vernacular</b>
<b>704 Monumental Avenue (1941)</b>	<b>Frazier House</b>	<b>Colonial Revival</b>
<b>705 Monumental Avenue (1950, 80, 82)</b>		<b>Vernacular</b>
<b>706 Monumental Avenue (1940)</b>	<b>Gigl House</b>	<b>Colonial Revival</b>
<b>707 Monumental Avenue (1946)</b>	<b>Southworth House</b>	<b>Vernacular</b>
<b>708 Monumental Avenue (1941)</b>		<b>Vernacular</b>
<b>709 Monumental Avenue (1948)</b>	<b>Klecker House</b>	<b>Vernacular</b>
<b>710 Monumental Avenue (1940, 08)</b>	<b>Rosseau House</b>	<b>Colonial Revival</b>
<b>711 Monumental Avenue (1948)</b>	<b>Alphin House</b>	<b>Colonial Revival</b>
<b>712 Monumental Avenue (1948, 79)</b>	<b>Lindsay House</b>	<b>Colonial Revival</b>
<b>714 Monumental Avenue (1941, 80)</b>	<b>Bowers House</b>	<b>Colonial Revival</b>
<b>715 Monumental Avenue (1950)</b>	<b>Bangert House</b>	<b>Colonial Revival</b>
<b>716 Monumental Avenue (1943)</b>	<b>Yolen &amp; Siegan House</b>	<b>Colonial Revival</b>

**Page Street**

<b>501 Page Street (1945)</b>	<b>Haas House</b>	<b>Vernacular</b>
<b>503 Page Street (1940)</b>	<b>McManus House</b>	<b>Vernacular</b>
<b>701 Page Street (1953)</b>	<b>Harwood House</b>	<b>Vernacular</b>
<b>703 Page Street (1890)</b>	<b>Martin House</b>	<b>Vernacular, Front-Gabled</b>

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**PINECREST NEIGHBORHOOD #32 CONTINUED**

**Tanyard Street**

700 Tanyard Street (1950)

702 Tanyard Street (1949)

703 Tanyard Street (1945)

704 Tanyard Street (1978)

705 Tanyard Street (1950)

706 Tanyard Street (1950)

707 Tanyard Street (1951)

708 Tanyard Street (1950)

709 Tanyard Street (1962)

711 Tanyard Street (1974, 96)

Vaughan House

Haas House

Clark House

**Alberti House**

**Burroughs House**

Moss House

Cooke House

Cantwell House

Vernacular

Vernacular

Vernacular

Vernacular

**Vernacular**

**Vernacular**

Vernacular

Vernacular

Vernacular

Vernacular

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**QUEEN MARY'S PORT NEIGHBORHOOD #20**

**Capitol Landing Road**

1011 Capitol Landing Road (1919)  
1031 Capitol Landing Road (1920)  
1037 Capitol Landing Road (1954)  
1039 Capitol Landing Road (1920)

Corey House  
Mahone House  
Mahone House  
Mahone House

Bungalow  
Bungalow  
Vernacular  
Bungalow

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**WEST WILLIAMSBURG NEIGHBORHOOD #15**

**Bacon Avenue**

103 Bacon Avenue (1948, 94)	Douglas House	Vernacular
105 Bacon Avenue (1948)	Sheppard House	Cape Cod
106 Bacon Avenue (1950)		Vernacular
107 Bacon Avenue (1950)	Wheeler House	Vernacular
110 Bacon Avenue (1950)	Virginia Gazette	Vernacular

**Delaware Avenue**

102 Delaware Avenue (1994, 02)	Nice House	Colonial Revival
104 Delaware Avenue (1994)	Nice House	Colonial Revival
105 Delaware Avenue (1943)		<b>Vernacular</b>
106 Delaware Avenue (1949)		<b>Vernacular</b>
107 Delaware Avenue (1948)		<b>Vernacular</b>
109 Delaware Avenue (1994)	Nice House	Colonial Revival
110 Delaware Avenue (1947, 94)	Fletcher House	Vernacular

**Lafayette Street**

715 Lafayette Street (1948, R-1993)	Casey House	Colonial Revival
717 Lafayette Street (1957)		Ranch
719 Lafayette Street (2005, 07)	Scott House	Vernacular
721 Lafayette Street (1920)		Bungalow
723 Lafayette Street (1936)	Atkinson House	Bungalow
725 Lafayette Street (1927)	Perkins House	Bungalow
725-A Lafayette Street (1927)	Perkins Cottage	Vernacular
727 Lafayette Street (1936, 81)	Vana House	Bungalow
801 Lafayette Street (1930)	Gutherie House	Bungalow
801 ½ Lafayette Street (1930)	Gutherie Cottage	Vernacular
803 Lafayette Street (1940, 89)	Smith House	Bungalow
804 Lafayette Street (1945)	Hall House	Bungalow
807 Lafayette Street (1979)	Nordstrom House	Vernacular
809-A Lafayette Street (1951)	Lewis House	Vernacular
809-C Lafayette Street (1951)	Lewis Cottage	Vernacular
901 Lafayette Street (1930)	Hazelwood House	Bungalow
903 Lafayette Street (1953, 90)	Rudin Cottage	Colonial Revival
905 Lafayette Street (1953)	Rudin House	Vernacular
907 Lafayette Street (1968)		Vernacular
1001 Lafayette Street (1951)	Percy Smith House	Colonial Revival
1003 Lafayette Street (1951)		Vernacular
1005 Lafayette Street (1951)		Colonial Revival
1007 Lafayette Street (1951)	Percy Smith House	Colonial Revival
1009 Lafayette Street (1940)		Colonial Revival
1101 Lafayette Street (1950)	Lanier House	Colonial Revival
1105 Lafayette Street (1951, 89, 81)	Percy Smith House	Vernacular
1107 Lafayette Street (1951)	Percy Smith House	Colonial Revival
1109 Lafayette Street (1951)	Percy Smith House	Colonial Revival
1201 Lafayette Street (1951)	Percy Smith House	Colonial Revival
1203 Lafayette Street (1951, 90)	Percy Smith House	Colonial Revival

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**WEST WILLIAMSBURG NEIGHBORHOOD #15 CONTINUED**

**Matoaka Court**

107 Matoaka Court (1950) **McDonald House** **Colonial Revival**

**Richmond Road**

800 Richmond Road (2005)	Suiter's Furniture	Vernacular
<b>809 Richmond Road (1951)</b>		<b>Vernacular</b>
<b>811 Richmond Road (1951)</b>		<b>Vernacular</b>
<b>813 Richmond Road (1932)</b>		<b>Dutch Colonial Revival</b>
<b>901 Richmond Road (1930)</b>		<b>Colonial Revival</b>
<b>902 Richmond Road (1958)</b>		<b>Vernacular</b>
<b>903 Richmond Road (1938, 88)</b>		<b>Colonial Revival</b>
<b>905 Richmond Road (1973)</b>		<b>Vernacular</b>
<b>1001-A Richmond Road (????)</b>		<b>Bungalow</b>
<b>1001 Richmond Road (1983)</b>	<b>Norment &amp; Newman Offices</b>	<b>Colonial Revival</b>
<b>1003 Richmond Road (1938)</b>		<b>Vernacular</b>
<b>1005 Richmond Road (19??)</b>		<b>Colonial Revival</b>
<b>1006 Richmond Road (1973)</b>	<b>Tidewater Bank &amp; Trust</b>	<b>Modernism</b>
<b>1012 Richmond Road (1950, 01)</b>		<b>Vernacular</b>
1031 Richmond Road (1988)	Dominion Federal Bank	Colonial Revival
<b>1101 Richmond Road (1951)</b>	<b>Callis House</b>	<b>Vernacular</b>
<b>1107 Richmond Road (1953)</b>	<b>Gordon House</b>	<b>Vernacular</b>
<b>1109 Richmond Road (1939, 85)</b>	<b>Bowen House</b>	<b>Colonial Revival</b>
<b>1203 Richmond Road (1952, 82)</b>	<b>Lafayette Restaurant</b>	<b>Vernacular</b>
1200-1 thru 8 Richmond Road (2009)	City Green Condominiums	Vernacular
1210-1 thru 16 Richmond Road (2009)	City Green Condominiums	Vernacular
1220 Richmond Road (2009)	City Green Shoppes	Vernacular

**Shirley Avenue**

<b>110 Shirley Avenue (1948, 07, 07)</b>		<b>Vernacular</b>
<b>112 Shirley Avenue (1948, 10)</b>		<b>Vernacular</b>
<b>113 Shirley Avenue (1949)</b>	<b>Morgan House</b>	<b>Colonial Revival</b>
<b>126 Shirley Avenue (1946)</b>		<b>Vernacular</b>
<b>127 Shirley Avenue (1947)</b>		<b>Vernacular</b>

**Westover Avenue**

<b>104 Westover Avenue (1937)</b>	<b>Baker House</b>	<b>Colonial Revival</b>
<b>106 Westover Avenue (1941)</b>		<b>Vernacular</b>
<b>109 Westover Avenue (1948)</b>		<b>Colonial Revival</b>
<b>110 Westover Avenue (1948)</b>		<b>Dutch Colonial Revival</b>
<b>111 Westover Avenue (1948)</b>	<b>Wheeler House</b>	<b>Vernacular</b>
<b>112 Westover Avenue (1945, 56)</b>	<b>Baker Garage</b>	<b>Vernacular</b>
<b>115 Westover Avenue (1951)</b>	<b>Fleshman House</b>	<b>Vernacular</b>

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**WEST WILLIAMSBURG NEIGHBORHOOD #15 CONTINUED**

**Wythe Avenue**

**101 Wythe Avenue (1938)**

**102 Wythe Avenue (1928, 80)**

103 Wythe Avenue (1995)

104 Wythe Avenue (1971)

**105 Wythe Avenue (1935, 87)**

**106 Wythe Avenue (1938)**

**107 Wythe Avenue (1935)**

**108 Wythe Avenue (1948, 01)**

**Ridenour House**

**Allen House**

Parker House

Oliver House

**Fairbanks House**

**Daniel House**

**Reed House**

**Nenzel House**

**Vernacular**

**Vernacular**

Colonial Revival

Vernacular

**Bungalow**

**Colonial Revival**

**Bungalow**

**Cape Cod**

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**WEST WILLIAMSBURG HEIGHTS NEIGHBORHOOD #16**

**Harrison Avenue**

108 Harrison Avenue (1929)	W J Holland Garage	Colonial Revival
110 Harrison Avenue (1941)	W J Holland House	Colonial Revival
200 Harrison Avenue (1941, 82, 85)	Remick House	Colonial Revival
201 Harrison Avenue (1925)	Dr. Tucker House	Dutch Colonial Revival
203 Harrison Avenue (1931)	Mullin House	Tudor Revival
204 Harrison Avenue (1948)	Kelly House	Cape Cod
205 Harrison Avenue (2009)	Klich House	Colonial Revival
206 Harrison Avenue (1936)	Hogg House	Colonial Revival
206 ½ Harrison Avenue (1949)	Hogg Outbuilding	Colonial Revival
208 Harrison Avenue (1950)	Adams House	Colonial Revival
209 Harrison Avenue (1940, 57)	Rau House	Cape Cod
209 ½ Harrison Avenue (1920)	Rau Apartments	Vernacular
211 Harrison Avenue (1938, 88)	W R Holland House	Colonial Revival
211 ½ Harrison Avenue (1943)	Holland Apartment	Vernacular
213 Harrison Avenue (1940)	Hartsfield House	Cape Cod
215 Harrison Avenue (1930)	Cummings House	Cape Cod
215-A Harrison Avenue (1930)	Cummings Cottage	Vernacular
217 Harrison Avenue (1940)	Holland House	Vernacular
219 Harrison Avenue (1996)	Murphy-Malloy House	Vernacular
219-A Harrison Avenue (1996)	Williams House	Shotgun Vernacular
221 Harrison Avenue (1970, 85)	Saunders House	Vernacular
302 Harrison Avenue (1929, 80, 90, 92, 04)	Edward D Saunders House	Georgian Revival

**Nelson Avenue**

111 Nelson Avenue (1931)	Emans House	Dutch Colonial Revival
200 Nelson Avenue (1929, 89)	Dr. Stone House	Dutch Colonial Revival
201 Nelson Avenue (1940)	Sneed House	Colonial Revival
203 Nelson Avenue (1947, 07)	Saunders House	Colonial Revival
205 Nelson Avenue (1939)	Jones House	Colonial Revival
206 Nelson Avenue (1933)	Arthur Bozarth House	Colonial Revival
207 Nelson Avenue (1937)	Hattie Bozarth House	Bungalow
209 Nelson Avenue (1948)	Rau House	Colonial Revival
210 Nelson Avenue (1934)	Low House	Cape Cod
210 ½ Nelson Avenue (1952)	Low Cottage	Vernacular

**Randolph Street**

501 Randolph Street (2001)	Hagey House	Cape Cod
506 Randolph Street (1934, 56, 60)	Blanchard House	Hipped Vernacular
509 Randolph Street (1932)	Annie Bozarth Lockhard Hse	Bungalow
520 Randolph Street (1951, 2010)	Thomas Savage House	Colonial Revival

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**WEST WILLIAMSBURG HEIGHTS NEIGHBORHOOD #16 CONTINUED**

**Richmond Road**

501 Richmond Road (1928, 88, 95)	H D Bozarth Tourist Home	Colonial Revival
503 Richmond Road (1934)	Blanchard House	Colonial Revival
505 Richmond Road (1937)	Comer Jackson House	Colonial Revival
517 Richmond Road (1926, 84, 90, 91)	Thad Hall House	Colonial Revival
519 Richmond Road (1926) W&M	Savage House	Dutch Colonial Revival
601 Richmond Road (1929)	W J Holland Tourist Home	Colonial Revival
605 Richmond Road (1928, 40, 96, 99, 13)	Elton Holland House	Colonial Revival
607 Richmond Road (1937, 12)	Painter House	Colonial Revival
609 Richmond Road (1930, 85, 87, 95)	Old Baptist Parsonage	Colonial Revival
611 Richmond Road (1930, 90, 02)	Farrell House	I-House Vernacular
711 Richmond Road (1929)	Jerome H Casey House	Colonial Revival
719 Richmond Road (1938)	Blocker Tourist Home	Colonial Revival
721 Richmond Road (1940)	Carlton C Casey House	Colonial Revival
727 Richmond Road (1900)	Metcalf House	I-House Vernacular

**Virginia Avenue**

206 Virginia Avenue (1895)	Bozarth Farm House	Cross-Gable Vernacular
218 Virginia Avenue (1950)	Warburton House	Vernacular
220 Virginia Avenue (1950)	Percy Smith House	Vernacular
222 Virginia Avenue (1950, 08)	Percy Smith House	Vernacular
223 Virginia Avenue (1964)	Dai Duplex	Vernacular
224 Virginia Avenue (1950)	Percy Smith House	Vernacular
225 Virginia Avenue (1950, 06)	Roy Rhodes House	Vernacular
226 Virginia Avenue (1950)	Percy Smith House	Vernacular

**Buildings located in Neighborhoods in an Architectural Preservation District**

**Bold – Buildings 50 years old or older**

**BUILDINGS NOT LOCATED IN A NEIGHBORHOOD**

**Capitol Landing Road**

1018 Capitol Landing Road (1940)  
1030 Capitol Landing Road (1890)  
1038 Capitol Landing Road (1865)

The Duck House  
The Beeches  
Mahone House

Colonial Revival  
Prairie Style  
Cross Gabled Vernacular

**First Street**

301 First Street (1940, 97)  
305 First Street (1960)

Bruton Heights School  
Bruton Heights Cottage

Colonial Revival  
Colonial Revival

**Jamestown Road**

105 Jamestown Road (1723)  
105-A Jamestown Road (1931)  
111 Jamestown Road (1700's)  
111-A Jamestown Road (1931)  
111-B Jamestown Road (1931)

Brafferton  
Brafferton Kitchen  
Wren Building  
Wren South Outbuilding  
Wren North Outbuilding

Colonial  
Historical Reconstruction  
Colonial  
Historical Reconstruction  
Historical Reconstruction

**Richmond Road**

102 Richmond Road (1732)  
102-A Richmond Road (1931)  
102-B Richmond Road (1931)  
104 Richmond Road (1931)

President's House  
President's Kitchen  
President's Wellhead  
President's Stable

Colonial  
Historical Reconstruction  
Historical Reconstruction  
Historical Reconstruction

## **CHAPTER XII - APPENDIX 3**

### **THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION AND GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS**

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved.
3. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## **CHAPTER XII - APPENDIX 4**

### **WILLIAMSBURG ARCHITECTURAL REVIEW BOARD APPLICATION PROCEDURES**

1. In **Architectural Preservation Districts** and the **Corridor Protection District** no clearing, grading, demolition, relocation, building or sign permit will be issued for any project until approval has been granted by the Architectural Review Board. Other exterior changes that do not require a building permit may require approval from the Architectural Review Board such as painting and site work. Applicants are advised to check with the Planning Department prior to beginning such work.
2. The Architectural Review Board meets the second and fourth Tuesday of every month at 6:30 p.m. in the Third Floor Conference Room of the Municipal Building at 401 Lafayette Street. In order to be placed on the agenda for a meeting, applications must be submitted no later than noon on the Monday the week prior to the meeting. Meeting schedules and applications are available on the City's website and the Planning Department. Adjoining property owner will be mailed written notifications for construction projects and public notification placards will be posted for new construction, demolition, additions, alterations, relocation and major rehabilitation applications.
3. Applications to the Architectural Review Board must include the appropriate application form signed by the property owner and nine sets of plans (elevations and site plans) for large commercial projects. For smaller projects the preferred plan size is 11"x17". A list of all materials for the project and colors proposed must be included with the application.
4. Applications to the Architectural Review Board for signs must include a complete sign application form, signed by the property owner, with one colored rendering of the proposed sign(s). Specific colors must be listed on the application. Building-mounted sign must include an elevation of the proposed sign on the building. Monument or free-standing signs must include a site plan indicating the location of the sign and any proposed lighting/landscaping.
5. Applicants who are not on the consent agenda must be present at the meeting. Applicants on the consent agenda are encouraged to be present at the meeting but attendance is not mandatory. If a case is removed from the consent agenda and a representative is not present the case will be tabled until the next meeting. Applicants on the consent agenda who do not attend the meeting do so at their own risk.
6. The applicant will receive a copy of the Architectural Review Board's decision within a week following the meeting. In the event that the Architectural Review Board denies the application, the applicant will receive written notification of the decision explaining the reasons for the decision.

7. Building, demolition and relocation permit applications are available at the Code Compliance Office between 8:00 a.m. and 4:30 p.m. Two copies of the approved building plans, site plan, and land disturbing permit if necessary, must be submitted with the application. Check with the Code Compliance Office at 220-6134 for additional information for plan review.
8. The applicant is responsible for notifying the Planning Department when the construction project is ready for inspections for compliance with plans approved by the Architectural Review Board. In addition, a foundation survey, prepared by a surveyor, must be submitted and approved by the Zoning Administrator prior to proceeding above the foundation. If completed projects do not comply with approved plans, the applicant will be in violation of the Zoning Ordinance and subject to civil penalties and other legal action including injunction, abatement or other appropriate action or proceeding in order to insure compliance with his ordinance.

## **CHAPTER XII – APPENDIX 5**

### **ARCHITECTURAL REVIEW BOARD BYLAWS**

The purpose of these bylaws is to supplement the procedures for meetings outlined in Section 21-853, Architectural Review Board.

1. The Board shall elect officers from its own membership, as specified in Section 21-853 of the Architectural Review Article in the Zoning Ordinance, at the first meeting of the year.
2. The Board shall meet at least once a month, but shall schedule meetings for the second and fourth Tuesday of every month. In the event that no applications for review are received by the deadline prior to a meeting, the regular scheduled meeting will be canceled unless the Board has scheduled other matters for discussion pertaining to design review and/or historic preservation.
3. A minimum of 12 regularly scheduled meetings and at least one training session will be scheduled per year, in order for the Architectural Review Board and the City's design review program to be eligible for Certified Local Government status with the Virginia Department of Historic Resources.
4. The Board shall for parliamentary purposes follow Robert's Rules of Order as modified for Small Boards. These modifications include the following items. Members are not required to obtain the floor before making motions or speaking, which they can do while seated. Motions need not be seconded. There is no limit to the number of times a member can speak to a question, and motions to close or limit debate generally should not be entertained. Informal discussion of a subject is permitted while no motion is pending. Sometimes, when a proposal is perfectly clear to all present, a vote can be taken without a motion's having been introduced. Unless agreed to by general consent, however, all proposed actions of a board must be approved by vote under the same rules as in other assemblies, except that a vote can be taken initially by a show of hands. The chairperson need not rise while putting questions to vote. The chairperson can speak in discussion without rising or leaving the chair. Subject to rule or custom within the particular board (which should be uniformly followed regardless of how many members are present), the chairperson can make motions and vote on all questions.
5. A quorum of the Board must be present at a meeting in order for official business to be conducted. Each member shall be entitled to one vote on any question before the Board, and the decisions of the Board shall be determined by a majority vote of members present.

6. If a specific application before the Board poses a conflict of interest for any board member, that member shall abstain from voting on the matter.
7. The Board shall review all applications which have been submitted prior to the deadline for the meeting and for which an applicant or representative is present at the meeting. A decision shall be made on the case within 60 days of first consideration, unless the applicant formally requests an extension. Any request for an extension must be to a particular date.

If the case is tabled to a particular date or if an applicant requests an extension to a particular date, and if an applicant fails to appear on the date appointed, then the case shall be considered withdrawn. Any re-submittals must be under a new application.

8. The Board endorses the practice of using a consent agenda. Staff makes the initial determination of applications to be included on the consent agenda. At the regular meeting of the Board, the Chair will provide Board members the opportunity to add or remove items from the consent agenda. In addition, the Chair will remove an item from the consent agenda if anyone present desires to speak about an application in the public comment period. A representative does not need to be present for applications listed on the consent agenda. However, if the application is removed from the consent agenda and no representative is present, the application will be tabled until the next meeting.
9. For each application, Board procedure provides two opportunities for comments from the public. Members of the audience are invited to speak after the presentation of the consent agenda application and before discussion by the Board. Members of the audience are also invited to speak after the Board's discussion but prior to the Board's vote on each application. All comments by members of the public should be addressed to the Board and not the applicant. It is not appropriate for members of the audience to engage in conversations with the applicant during the official meeting of the Board.
10. Any motion for action on an application before the Board shall state the reasons therefore, such as whether the application is consistent with the ***Design Review Guidelines*** and what factors of the proposal are compatible or incompatible with the surrounding areas and the City of Williamsburg.
11. The minutes of the meeting shall be prepared by the Planning Department staff, as specified in Section 21-853 of the Architectural Review Article in the Zoning Ordinance, and shall be held for public record in the Planning Department.

# **APPENDIX**

## **CHAPTER XII – APPENDIX 6A**

### **ARCHITECTURAL REVIEW BOARD ARCHITECTURAL PRESERVATION DISTRICT & CORRIDOR PROTECTION DISTRICT**

#### **APPROVAL CRITERIA**

##### **Section 21-855(a)**

Before approving the erection, reconstruction, alteration, restoration, razing demolition or moving of a building or structure in the Colonial Williamsburg Historic Area portion of the architectural preservation district, the review board shall consider, among other things:

- (1) Documented historical and/or archaeological evidence of such building or structure prior to the year 1800.
- (2) For accessory buildings or structures, historical and/or archaeological evidence indicating that such a building or structure could have existed prior to the year 1800, even though there exists no specific historical or archaeological evidence to support his.
- (3) The historical value and significance of the building, structure, sign or exterior archaeological feature with the comprehensive plan's goals for historic preservation, visual quality and design.
- (4) The compatibility of the proposed building, structure, sign or exterior architectural feature with the comprehensive plan's goals for historic preservation, visual quality and design.

##### **Section 21-855(b)**

Before approving the erection, reconstruction, alteration or restoration of a building, structure, sign or exterior architectural feature in the architectural preservation or corridor protection district (except for the Colonial Williamsburg Historic Area CW), the review board shall consider, among other things:

- (1) The historical or architectural value and significance of the building, structure, sign or exterior architectural feature.
- (2) The extent to which the building, structure, sign or exterior architectural feature will be architecturally compatible with historic buildings in the area which it is proposed to be located; or, if located in the corridor protection district will architecturally compatible with the character of the architectural preservation district.
- (3) The appropriateness of the general design, proportion, scale, building material texture and color of the proposed building, structure, sign or exterior architectural feature to the area in which it is proposed to be located.
- (4) The relationship of the proposal to design criteria adopted by the review board. Such criteria shall be consistent with the purposes of this article.
- (5) The compatibility of the proposed building, structure, sign or exterior architectural feature with the comprehensive plan's goals for historic preservation, visual quality and design.

## **CHAPTER XII – APPENDIX 6B**

### **ARCHITECTURAL REVIEW BOARD**

#### **RAZING, DEMOLITION OR MOVING CRITERIA**

##### **Section 21-855(c)**

Before approving the razing, demolition or moving of a building or structure in the architectural preservation district (except of the Colonial Williamsburg Historic Area), the review board shall consider, among other things:

- (1) The historic and architectural value of the building or structure.
- (2) The effect of the proposed razing, demolition or moving on the surrounding area.
- (3) The impact of the proposed razing, demolition or moving on the comprehensive plan's goals for historic preservation.
- (4) The condition of the building or structure.
- (5) The economic feasibility of restoring the building or structure.

**CHAPTER XII – APPENDIX 6C**  
**ARCHITECTURAL REVIEW BOARD**

**DENIAL OF A REQUEST**

**Section 21-853(d)**

In case of disapproving of the erection, reconstruction, alteration or restoration of a building, structure, sign or exterior architectural feature, the review board shall state its reasons in writing and may make recommendations to the applicant with respect to the appropriateness of design, arrangement, texture, material, color, location and the like.

**Section 21-853(e)**

In case of disapproval of the razing, demolition or moving of a building in the architectural preservation district, the review board shall state its reasons in writing.

**Section 21-853(f)**

The review board, when requested by an applicant in the architectural preservation or corridor protection districts, shall advise as to the changes and alterations necessary to bring the proposed building, structure, sign or exterior architectural feature in harmony with the general design of the buildings, structures or appurtenant elements located in the surrounding area.

## CHAPTER XII – APPENDIX 6D

### ARCHITECTURAL REVIEW BOARD CONCURRENT RIGHT TO DEMOLISH A BUILDING IN THE ARCHITECTURAL PRESERVATION DISTRICT

#### Section 21-858. Additional or concurrent right to demolish buildings in the Architectural Preservation District.

(a) In addition to the right of appeal, the owner of a building or structure in the architectural preservation district, the razing or demolition of which is subject to the provisions of this article, shall as a matter of right, be entitled to demolish such building or structure provided that:

(1) The owner has applied to City Council for such right.

(2) The owner has, for a period of time set forth in the time schedule in Section 21-858(a)(3) and at a price reasonably related to its fair market value, made a bonafide offer to sell such building or structure and the land pertaining thereto to the City or to any person, firm, corporation or agency thereof or political subdivision or agency thereof which gives reasonable assurance that it is willing to preserve and restore the building or structure and the land pertaining thereto.

(3) No bona fide contract, binding upon all parties thereto, shall have been executed for the sale of any such building or structure and the land pertaining thereto prior to the expiration of the applicable time period set forth in the time schedule below. Any appeal which may be taken to the court from the decision of the review board, whether instituted by the owner or by the other proper party, notwithstanding the provisions heretofore stated relating to a stay of the decision appealed from, shall not affect the right of the owner to make the bona fide offer to sell referred to in this paragraph. No offer to sell shall begin more than one year after the final decision of the review board, but thereafter the owner may renew his request to the review board to approve the razing or demolition of the building or structure. The time schedule for offers shall be as follows:

<b>Property Valued At</b>	<b>Minimum Offer to Sell Period</b>
Less than \$25,000.00	3 months
\$25,000.00 - \$39,999.00	4 months
\$40,000.00 - \$54,999.00	5 months
\$50,000.00 - \$74,999.00	6 months
\$75,000.00 - \$89,999.00	7 months
\$90,000.00 or more	12 months

(4) Before making a bona fide offer to sell, an owner shall first file a statement with the Zoning Administrator. The statement shall identify the property, and state the offering price, the date the offer of sale is to begin, and the name of the real estate agent, if any. No time period set forth in the schedule contained in Section 21-858(a)(3) shall begin to run until the statement has been filed. Within five days of receipt of a statement, copies of the statement shall be delivered by the Zoning Administrator to the City Manager, members of City Council and members of the review board.

## **CHAPTER XII – APPENDIX 7**

### **GLOSSARY OF TERMS**

#### **ARCHITECTURAL CONSERVATION**

The science of preserving a building and or structure and its historic fabric. Conservation uses scientific techniques and analytical methods to conduct investigations in which to determine the cause, effect and solution of building problems. After examining the structure and diagnosing the problems, the architectural conservator either conducts or directs the treatment.

#### **ADAPTIVE USE**

A means to provide new functions to an older building or structure that would otherwise be demolished.

#### **MAINTAIN**

To keep a building or structure in an existing state using the least degree of intervention.

#### **PRESERVATION**

The act or process of applying measures to sustain the existing form, integrity, and material of a building or structure.

#### **RECONSTRUCTION**

The act or process of reproducing by new construction the exact form and detail of a vanished building, structure, or object, or a part thereof, as it appeared at a specific period of time.

#### **REHABILITATION**

The act or process of returning a property to a state of utility through repair or alteration which makes possible an efficient contemporary use while preserving those portions or features of the property which are significant to its historical, architectural, and cultural values.

#### **REPAIR**

The process of controlling decay by removing growths, replacing a part, or putting together what is torn or broken.

#### **VIRGINIA GAMBREL COLONIAL REVIVAL**

A stylistic term for a type of colonial revival house architecture typical to this area which was built in the City following the advent of the Colonial Williamsburg restoration project, particularly in the 1930's and 1940's. In many instances, examples of this style closely resembles Colonial forms in the Historic Area. The term was recommended for use by Nicholas Pappas, former Architect of the Colonial Williamsburg Foundation.

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